

Public Document Pack



PLANNING COMMITTEE

Tuesday, 4th February, 2020 at 7.45 pm
Venue: Conference Room
Civic Centre, Silver Street,
Enfield EN1 3XA

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PLEASE NOTE MEETING TIME

MEMBERS

Councillors : Mahmut Aksanoglu (Chair), Sinan Boztas (Vice-Chair),
Mahym Bedekova, Chris Bond, Elif Erbil, Ahmet Hasan, Tim Leaver, Hass Yusuf,
Michael Rye OBE, Jim Steven and Maria Alexandrou

**N.B. Any member of the public interested in attending the meeting
should ensure that they arrive promptly at 7:30pm
Please note that if the capacity of the room is reached, entry may not be
permitted. Public seating will be available on a first come first served basis.**

**Involved parties may request to make a deputation to the Committee by
contacting the committee administrator before 12:00 noon on 03/02/20**

AGENDA – PART 1

- 1. WELCOME AND APOLOGIES FOR ABSENCE**
- 2. DECLARATION OF INTEREST**
- 3. REPORT OF THE HEAD OF PLANNING (REPORT NO.207) (Pages 1 - 2)**

To receive the covering report of the Head of Planning.
- 4. 19/00901/FUL - 1-44 AVALON CLOSE, ENFIELD, EN2 8LR (Pages 3 - 30)**

RECOMMENDATION: Approval subject to conditions
WARD: Highlands
- 5. 19/03802/RE4 - REARDON COURT, 26 COSGROVE CLOSE, LONDON N21 3BH (Pages 31 - 68)**

RECOMMENDATION: In accordance with Regulation 4 of the Town and Country Planning General Regulations 1992, that planning permission be deemed to be granted subject to conditions

WARD: Winchmore Hill

6. 19/02921/FUL - ENFIELD RETAIL PARK, 16 CROWN ROAD, ENFIELD EN1 3RW (Pages 69 - 102)

RECOMMENDATION: That the Head of Development Management / the Planning Decisions Manager be authorised to grant planning permission subject to conditions

WARD: Southbury

MUNICIPAL YEAR 2019/2020 - REPORT NO 207

COMMITTEE:
 PLANNING COMMITTEE
 04.02.2020

AGENDA - PART 1	ITEM 3
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SUBJECT-

MISCELLANEOUS MATTERS

REPORT OF:
 Head of Planning

Contact Officer:
 Planning Decisions Manager
 David Gittens Tel: 020 8379 8074
 Claire Williams Tel: 020 8379 4372

3.1 PLANNING APPLICATIONS AND APPLICATIONS TO DISPLAY ADVERTISEMENTS DEC

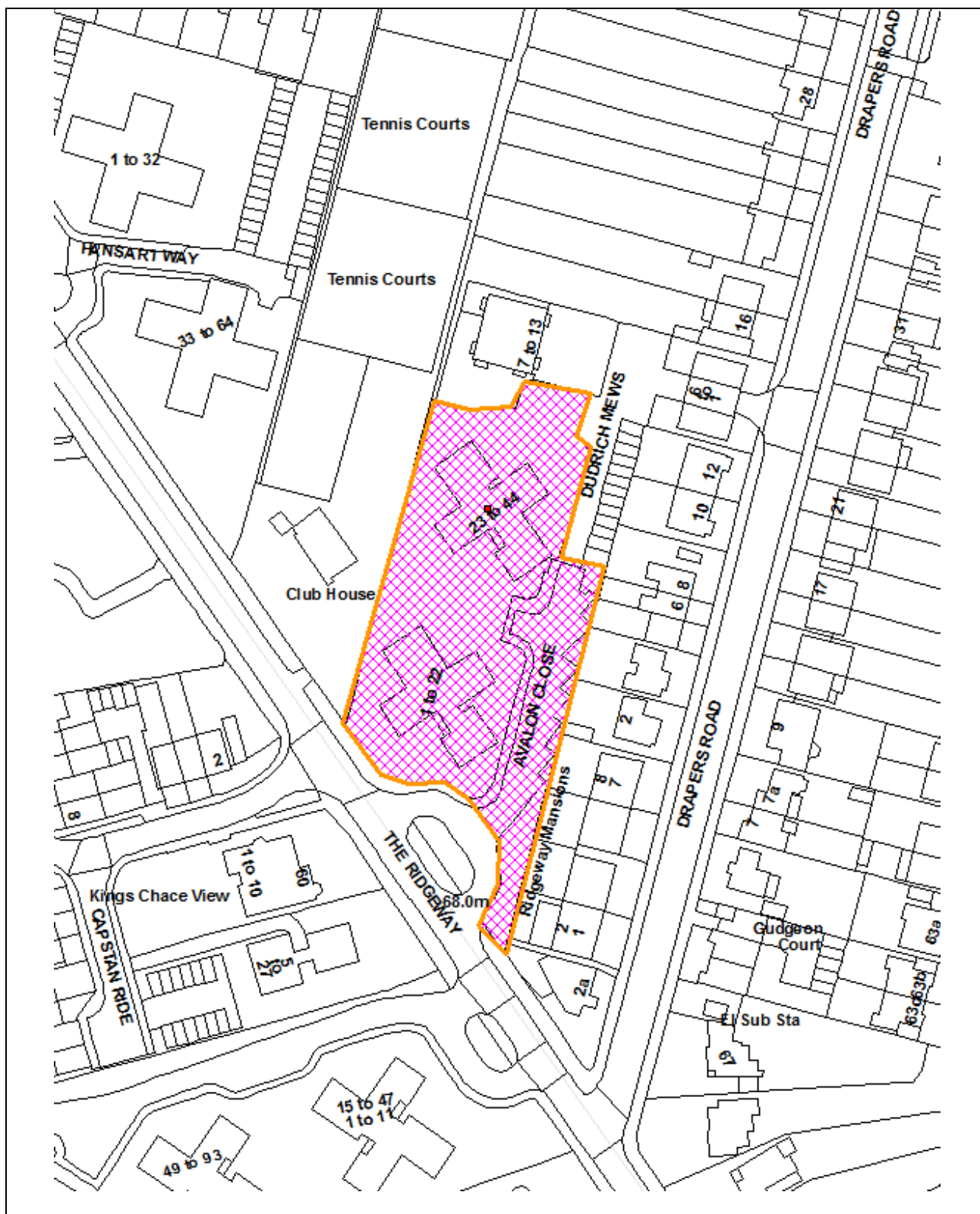
On the Schedules attached to this report I set out my recommendations in respect of planning applications and applications to display advertisements. I also set out in respect of each application a summary of any representations received and any later observations will be reported verbally at your meeting.

Background Papers

- (1) Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise. The development plan for the London Borough of Enfield is the London Plan (March 2015), the Core Strategy (2010) and the Development Management Document (2014) together with other supplementary documents identified in the individual reports.
- (2) Other background papers are those contained within the file, the reference number of which is given in the heading to each application.

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LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE		Date: 4 February 2020
Report of: Head of Planning	Contact Officer: Andy Higham David Gittens Gideon Whittingham Tel No: 020 8132 1623	Ward: Highlands
Application Number: 19/00901/FUL		Category: Minor dwellings
LOCATION: 1-44 Avalon Close EN2 8LR		
PROPOSAL: Creation of a part third and fourth floor to both blocks to provide a total of 8 self contained units comprising 6 x 2 bed and 2 x 1 bed with associated parking.		
Applicant Name & Address: Mr Ozcan Hassan Capita Planning Consultancy 10th Floor, 1255 High Road, Whetstone N20 OEJ London N20 0EJ		Agent Name & Address: Mrs Janette Findley Capita Planning Consultancy 10th Floor, 1255 High Road, Whetstone N20 OEJ London N20 0EJ
RECOMMENDATION: That planning permission be GRANTED subject to conditions.		



1. Note for Members

- 1.1 Although a planning application for this type of development would normally be determined under delegated authority, the application has been reported to the Planning Committee for determination by request of the Highlands Ward Councillors, namely Councillors David-Sanders, Laban and Vince.

2. Recommendation / Conditions

- 2.1 That planning permission be GRANTED subject to the following conditions:

1. TIME LIMIT
2. DEVELOPMENT IN ACCORDANCE WITH PLANS
3. MATERIALS TO MATCH THOSE SPECIFIED
4. DETAILS OF LANDSCAPING (INCLUDING TREE REPLACEMENT)
5. DETAILS OF CYCLE PARKING
6. DETAILS OF REFUSE STORAGE
7. DETAILS OF GREEN ROOF
8. DETAILS OF SURFACE DRAINAGE WORKS / SUDS
9. REQUIREMENT M4(2) OF BUILDING REGULATIONS
10. ENERGY STATEMENT 35% IMPROVEMENT
11. POTABLE WATER
12. CONSTRUCTION MANAGEMENT PLAN
13. DETAILS OF NOISE INSULATION

- 2.2 It is also requested that authority to finalise the wording of conditions under the above headings, is given to officers to ensure they reflect any issues raised by Planning Committee and / or any reported updates to the meeting.

3. Executive Summary

- 3.1 Avalon Close consists of a pair of 4-storey blocks, blocks A (Nos.1 to 22) and B (Nos.23 to 44), providing 44 flats.
- 3.2 The application seeks the erection of a composite clad roof extension at 3rd and 4th floor levels to each block to provide 8 additional residential flats (6 x 2 bed and 2 x 1 bed) in total.
- 3.3 Associated alterations include a newly formed hard surfacing area for the parking of 8 spaces, along with an enclosed cycle store.
- 3.4 The reasons for recommending approval of this application are:
- The proposal would provide 8 flats of a good standard of living accommodation that would contribute to the housing stock in the borough.
 - The proposed extensions are considered appropriate in form and design and would not result in detrimental harm to the character and appearance of the buildings, the pair of which it is a part, and the locality.
 - The proposal would not cause any unacceptable harm upon highway safety or the flow of traffic in the locality.
 - The proposal, by virtue of their size, location and proximity would not harm the amenity of occupying and neighbouring residents.
 - The design and construction of the proposal would have appropriate regard to environmental sustainability issues including energy and water conservation, renewable energy generation, and efficient resource use.
 - The proposal would retain and protect trees of amenity and biodiversity value.

4. Site & Surroundings

- 4.1 The site is located on the east side of The Ridgeway, within a cul de sac known as Avalon Close.
- 4.2 The site comprises 2, part 3 part 4 storey cross-shaped residential blocks, each comprising 22 flats. The blocks are set on a site of 3,930.6 square metres, a mix of soft landscaping with trees and hard surfacing for parking.
- 4.3 The surrounding area is predominantly residential, with similar cross-shaped residential blocks along Hansart Way and a late 20 century residential block known as Dudrich Mews off Drapers Road.
- 4.4 The Enfield Lawn Tennis Club is located to the north east of the site, a designated as Local Open Space.
- 4.5 The site is not located within a conservation area nor is it statutorily or locally listed.

- 4.6 The site is within an area with a public transport accessibility level (PTAL) of 1b to 2.

5

. **Proposal**

- 5.1 The following works are proposed:

- The erection of part 3rd and part 4th floor level extensions, rising vertical above the footprint of blocks A (Nos.1 to 22) and B (Nos.23 to 44) Avalon Close. The extensions are to be clad in a composite cladding panel, with the fenestration proposed following that of the parent building's in terms of alignment.
- The extensions would result in a total of 8 self-contained units, 4 to each block comprising:
 - 2 x 2bed duplex at 3rd and 4th floor level
 - 1 x 2bed duplex at 4th floor level
 - 1 x 1bed flat at 4th floor level
- The building would be green roofed, whilst the central core area would be open and without a roof.
- Between blocks A and B would be a newly formed hard surfacing area for the parking of 8 spaces, along with an enclosed cycle store.
- Additional bins would be located within the existing external bin store housing area.
- T23 (Oak) is to be removed, however this is not required to implement the scheme. (Replacement)

6. **Consultation**

Statutory and Non-Statutory Consultees

- 6.1 The consultation responses have directed and facilitated the changes to the development and applicable conditions have been added to secure policy compliant development:

- Metropolitan Police Service: No objection
- London Fire Brigade: No objection received.
- Thames Water: No objection received.

Public

- 6.2 Consultation letters were sent to 169 neighbouring and nearby properties . Notice was also displayed at the site.

6.3 Respondents from 35 addresses from Avalon Close, Dudrich Mews and Drapers Road have been received raising all or some of the following comments:

- Consultation and procedure
 - Legal history of applicant
 - History of previous planning submission by applicant

Officer's response: see section on Consultation and procedure

- Land Use
 - Overdevelopment
 - Harmful density
 - Lack of lift

Officer's response: see section on Land Use

- Design
 - Unsightly extension

Officer's response: see section on Design

- Transport
 - Limited parking provision
 - Result in congestion
 - Insufficient capacity for refuse
 - Noise and congestion as a result of construction

Officer's response: see section Transport

- Impact on occupying and neighbouring amenity
 - Increased sense of enclosure (Including building over terraces)
 - Loss of sunlight /daylight
 - Loss of outlook
 - Loss of privacy
 - Result in overshadowing
 - Result in noise nuisance

Officer's response: see section Impact on occupying and neighbouring amenity

- Landscaping and Trees
 - loss of trees
 - loss of green space

Officer's response: see section on Landscaping and Trees

7. Relevant Planning History

1-44 Avalon Close EN2 8LR

- 7.1 17/00643/PREAPP - Proposed construction of a total of 8 flats (4 per block) within third and fourth floor roof extensions.

1-6, Dudrich Mews, Drapers Road

- 7.2 P13-03021PLA - Conversion of roof space into 1 x 2 bed self contained flat. Granted With Conditions 03 Mar 2014

- 7.3 TP/01/0716 - Retention of two storey block of six flats built under planning permission TP/95/1074 as constructed including details of domestic extract ventilation facilities. Granted with Conditions 02 Jul 2001.

1-64 Hansart Way

- 7.4 17/00549/FUL - Construction of fourth floor to both blocks to provide a total of 8 self contained flats comprising (4 x 2 bed and 4 x 3 bed) with balconies to front side and rear. Granted with Conditions 22 Feb 2018.

8. Relevant Planning Policies

8.1 National and Regional Policies

National Planning Policy Framework (NPPF) 2019
National Planning Practice Guidance

8.2 London Plan

Policy 3.3 Increasing housing supply
Policy 3.4 Optimising housing potential
Policy 3.5 Quality and design of housing developments
Policy 3.6 Children and young people's play and informal recreation facilities
Policy 3.8 Housing choice
Policy 3.9 Mixed and balanced communities
Policy 3.11 Affordable housing targets
Policy 3.12 Negotiating affordable housing
Policy 3.13 Affordable housing thresholds
Policy 3.14 Existing housing
Policy 5.1 Climate change mitigation
Policy 5.2 Minimising carbon dioxide emissions
Policy 5.3 Sustainable design and construction
Policy 5.5 Decentralised energy networks
Policy 5.6 Decentralised energy in development proposals
Policy 5.7 Renewable energy
Policy 5.8 Innovative energy technologies
Policy 5.9 Overheating and cooling
Policy 5.10 Urban greening
Policy 5.11 Green roofs and development site environs
Policy 5.13 Sustainable drainage

Policy 5.14 Water quality and wastewater infrastructure
Policy 6.3 Assessing the effects of development on transport capacity
Policy 6.9 Cycling
Policy 6.12 Road network capacity
Policy 6.13 Parking
Policy 7.1 Lifetime neighbourhoods
Policy 7.2 An inclusive environment
Policy 7.3 Designing out crime
Policy 7.4 Local character
Policy 7.6 Architecture
Policy 7.14 Improving air quality
Policy 7.15 Reducing noise and enhancing soundscapes
Policy 7.19 Biodiversity and access to nature

8.3 The London Plan – Draft

A draft London Plan was published on 29 November 2017 for consultation purposes with a deadline for consultation of 2 March 2018. The current 2016 (The London Plan consolidated with alterations since 2011) is still the adopted Development Plan, but the Draft London Plan is a material consideration in planning decisions. The significance given to it is a matter for the decision makers, but it gains more weight as it moves through the process. It is anticipated that the publication of the final London Plan will be in February/March 2020, and as such its weight, as a material consideration, is increasing.

8.4 Core Strategy

CP2: Housing supply and locations for new homes
CP4: Housing quality
CP5: Housing types
CP9: Supporting community cohesion
CP20: Sustainable energy use and energy infrastructure
CP21: Delivering sustainable water supply, drainage and sewerage infrastructure
CP22: Delivering sustainable waste management
CP24: The road network
CP25: Pedestrians and cyclists
CP26: Public transport
CP28: Managing flood risk through development
CP30: Maintaining and improving the quality of the built and open environment
CP32: Pollution
CP34: Parks, playing fields and other open spaces
CP36: Biodiversity
CP46: Infrastructure contributions

8.5 DMD

DMD2 Affordable Housing for Development of Less than 10 Units
DMD3 Providing a Mix of Different Sized Homes
DMD6 Residential Character
DMD8 General Standards for New Residential Development

DMD9 Amenity Space
 DMD10 Distancing
 DMD37 Achieving High Quality Design-Led Development
 DMD38 Design Process
 DMD45 Parking Standards
 DMD47 New Roads, Access and Servicing
 DMD48 Transport Assessments
 DMD49 Sustainable Design and Construction Statements
 DMD50 Environmental Assessment Methods
 DMD51 Energy Efficiency Standards
 DMD53 Low and Zero Carbon Technology
 DMD54 Allowable Solutions
 DMD55 Use of Roof Space / Vertical Surfaces
 DMD56 Heating and Cooling
 DMD57 Responsible Sourcing of Materials
 DMD58 Water Efficiency
 DMD59 Avoiding and Reducing Flood Risk
 DMD60 Assessing Flood Risk
 DMD61 Managing Surface Water
 DMD65 Air Quality
 DMD68 Noise
 DMD69 Light Pollution
 DMD70 Water Quality
 DMD72 Open Space Provision
 DMD73 Children's Play Space
 DMD78 Nature Conservation
 DMD79 Ecological Enhancements
 DMD81 Landscaping

9. Analysis

Principle / Land Use

9.1 Policy 2 of the Core Strategy, along with London Plan Policy 3.3 ensures development actively contributes towards Borough specific and London-wide strategic housing targets respectively. Policy 5 of the Core Strategy and Policy 3.8 of the London Plan seeks to ensure that new developments offer a range of housing sizes to meet housing needs. Policy DMD 10 ensures distances between buildings would not result in housing with inadequate daylight/ sunlight or privacy for the proposed or surrounding development.

9.2 The existing buildings, Block A and B, currently provide the following unit mix:

	Studio	1-bed	2-bed	Total
Blocks A and B	10	18	16	44

9.3 The proposal would provide the added 8 units in total with the following unit mix:

Blocks A and B	1-bed 2 person (sqm)	2-bed 4 person (sqm)	Policy requirement
Flat 1 (Duplex)		109	79
Flat 2 (Duplex)		101	79
Flat 3	66		50
Flat 4		75	70

- 9.4 The Council acknowledges that there is a need and/or demand for dwellings of every size, however there is emphasis on delivering family sized units which is reflected in Policy CP5 of the Core Strategy. In this respect, the proposed development does not provide for 3 bedroom and above family units. It does however provide three 2 bed 4 person residential units which do contribute to meeting family need. In addition, it is considered weight needs to be given to the circumstances of this proposed development: namely the location of the proposed residential units on the upper floors of existing blocks, the mix of the current blocks (only comprising 1 and 2 bedroom units), the constraint of the existing floorplate, lending itself to smaller units and the lack of a lift within the either buildings. Consequence, it is considered that the proposed mix is acceptable.

Unit size

- 9.5 The proposed new dwellings exceed the minimum floorspace requirements according to London Plan standards.
- 9.6 To ensure the development meets the access standards in Part M of the Building Regulations, where achievable, a condition will be imposed.

Quality of new accommodation

- 9.7 To maintain mutual privacy for the new and existing occupiers of the blocks as well as adjacent occupiers, opportunities to overlook or create noise nuisance have been specifically minimised through the design of the extensions.
- 9.8 With regard to potential overlooking, the position and alignment of fenestration has been located to match that on the parent building. As a result, windows introduced at 3rd and 4th floor levels would not overlook neighbouring occupiers. Blocks A and B at their closest point are separated by 18m, however the closest point of direct vision (elevation with window facing elevation with window) is 23m. Although this falls short of the 30 meters identified in DMD10, (although exceeds the minimum separation of 22 metres identified in policy), this is already the existing separation distance between Blocks A and B. Given this would be one specific elevation serving bedrooms and not those units living spaces, this arrangement is considered acceptable.
- 9.9 The general layout of the units is acceptable providing functional and practical spaces. The ceiling heights of the residential spaces comply with the 2.3m minimum standards. All of the flats have openable windows and doors where applicable (i.e. passive/natural ventilation) and each flat enjoys dual aspect with access to good levels of natural light and outlook.

9.10 With regard to Policy DMD9 and amenity space, the initial submission included outdoor space, however following officer advice, it was felt the scope for amenity space in appropriate locations was limited and would actually, be of detriment to the adjacent occupiers of Avalon Close. Consequently, there is no dedicated amenity space offered as part of this application although there is communal space. Taking account of the need to optimise development on existing sites and deliver new residential units, this arrangement is considered acceptable.

9.11 To ensure that the amenity of occupiers of the development site would not be adversely affected by noise, conditions shall confirm noise insulation measures.

Affordable housing

9.12 With regard to Policy DMD 2, it should be noted that there is no affordable housing contribution because the development falls below the threshold of 10 units or less and less than 1000sqm.

Conclusion

9.13 Within this context, it is considered that each of the flat would provide a good standard of living accommodation that would contribute to meeting the priorities set out in Policy 3.8 of the London Plan and Policy CP5 of the Core Strategy (2010).

9.14 It should be noted that aspects including ventilation, fire (including details of cladding materials) and emergency escape, access (including the requirement of a lift) and facilities for people with disabilities and sound insulation between dwellings is subject to control under Building Regulations and/or the London Buildings Acts. Party wall matters would be subject to the Party Wall Act.

Character and Appearance

9.15 Policy CP30 requires new development to be of a high-quality design and in keeping with the character of the surrounding area. DMD37 states that development that is not suitable for its intended function that is inappropriate to its context, or which fails to have appropriate regard to its surroundings, will be refused. DMD 13 will only be permitted roof extensions of an appropriate size and location within the roof plane, that would not disrupt the character or balance of the property or pair or group of which it forms part.

9.16 The site includes Block A and B Avalon Close, a pair of mid 20th century apartment buildings of brick articulation, detailed with painted white cladding and fenestration. The cross-shaped buildings are 4 storey (north-south) and 3 storey (east-west) in height. Although of limited architectural merit, the buildings sit quietly within the site and in this sense contribute well to the particular local scene. The buildings in this part of Highlands are stylistically varied, however the consistent detailed design and appearance of the application site provides a positive group value.

- 9.17 The scheme has been assessed and negotiated to ensure it would sit comfortably within its environment. Principally with a view to promote and reinforce local distinctiveness. The relationship between the parent building and roof extension is integral to the success of this scheme; therefore the character and appearance of the parent building should be retained and followed, where appropriate, by the extension.
- 9.18 The approach taken at the adjacent Hansart Way (roof extension), in order to account for a modern and asymmetrical roof, sought to apply render to the whole building, distinctly altering the character of the parent building. This proposal, considered against the current Core Strategy and Development Policies also increased the height by an additional 4.2m to approximately 15.4m.
- 9.19 This scheme however seeks a different approach. Where an asymmetrical roof could be seen to visually compete without alterations to the parent building, the new roof follows the angular form of the parent building while recessed elements above the footprint, ensure primacy of the parent building and amenity levels for existing occupiers. Although the proposal would result in the increase in height by an additional 3.2m to approximately 13.8m, this would be appropriate given its recessed position from the street scene and neighbouring buildings, in addition to being commensurate with adjacent schemes approved (Hansart Way).

Scale and detailed design

- 9.20 The roof addition would be clad in a composite material of distinct differentiation from the parent building below that and although it would represent a contrast, retains a simple palette. In addition, the pattern and alignment of fenestration responds positively to the building's character, taking important cues from the parent building to provide a contemporary design with visual interest and depth to the elevations.
- 9.21 The roof of the buildings would be green to improve the aspect to the site from the upper floors of any neighbouring buildings overlooking the site.

Conclusion

- 9.22 The proposed extensions are considered appropriate and would not result in detrimental harm to the character and appearance of the buildings, the pair of which it is a part, and the locality. The proposal therefore complies with Policy DMD13 and DMD37.

Traffic Generation, Access and Parking

- 9.23 Policy 6.3 of the London Plan confirms that the impact of development proposals on transport capacity and the transport network are fully assessed. The proposal must comply with policies cycling (Policy 6.9), walking (Policy 6.10), tackling congestion (Policy 6.11) and parking (Policy 6.13). Policies DMD45 and DMD47 provide the criteria upon which developments will be assessed with regard to parking standards / layout and access / servicing.

- 9.24 Policy DMD 45 and DMD48 seeks to minimise car parking and to promote sustainable transport options. The Council recognises that a flexible and balanced approach needs to be adopted to prevent excessive car parking provision while at the same time recognising that low on-site provision sometimes increases pressure on existing streets.
- 9.25 Avalon Close is an adopted unclassified no-through road, ending in a hammerhead turning, and located on the north-east side of A1005 The Ridgeway. There are angled private car parking bays along the furthest edge of Avalon Close, serving 9 spaces, as well as unrestricted parking along the public highway on Avalon Close, which is in heavy demand.
- 9.26 The site has a PTAL of 2, which is low.
- 9.27 The proposal includes newly formed hard surfacing for 8 spaces (including 1 disabled space, 1 electric active space and 2 passive electric spaces), along with an enclosed cycle store but there is no new or altered vehicle or pedestrian access to or from the highway.
- 9.28 A Transport Statement, including a Lambeth parking survey to properly assess the on-street parking demand in the surrounding area, has been submitted in support of this application and concludes that vehicle parking associated with the proposed residential use can be adequately accommodated on the site and within on-street parking areas with minimal impact to the local streets.

Trip generation

- 9.29 While the 10 new flats could represent a slight increase in residential movements, as this is a predominately residential area, the additional generated trips would not be out of place in this location.

Vehicular and pedestrian access

- 9.30 Access for vehicles and pedestrians would not be changed as a result of this proposal. Existing routes remain and would not be congested as a result of the limited intensification of the site.

Car parking

- 9.31 The Lambeth parking survey demonstrates some capacity on street for overflow parking. Officers however recognise the concerns raised during the consultation process and have secured 8 accessible spaces (including 1 disabled space, 1 electric active space and 2 passive electric spaces), 1 space for each new flat, meeting the London Plan parking standards.

Cycle parking

- 9.32 Covered, secure and assessible cycle storage for 16 bikes shall be provided to the west of the new car parking area, along with a further 2 Sheffield stands. The

cycle provision meets London Plan cycle parking addendum requirements and is therefore acceptable to policy DMD 45.

Refuse and recycling

9.33 The proposal will include secure waste and recycling storage bins within an existing external store in close proximity to The Ridgeway. As such, the management of the site in terms of refuse would continue as existing and is considered acceptable.

Construction Management Plan

9.35 The proposal is also likely to lead to a variety of amenity issues for local people (e.g. noise, vibration, air quality, temporary loss of parking, etc). The Council needs to ensure that the development can be implemented without being detrimental to amenity or the safe and efficient operation of the highway network in the local area.

9.36 Construction management plans (CMPs) are used to demonstrate how developments will minimise impacts from the movement of goods and materials during the construction process (including any demolition works). A draft CMP has been submitted in support of the planning application and indicates:

- 4-month duration of construction works
- Construction hours – 0800 to 1800 Monday to Friday, 0800am to 1300 Saturdays, no working on Sundays or Public Holidays (controlled by the Environmental Protection Act 1990)
- Construction vehicle movements restricted to 0930 to 1630 Monday to Friday, 0800am to 1300 Saturdays, no construction vehicle movements on Sundays or Public Holidays
- No on street parking bays or public roads are proposed to be suspended
- Prior to commencement, the appointed contractor will send out details of the timetabling of the construction to the neighbours and any local interest groups to form a construction working group
- Prior to commencement, the contractor will sign up to the Considerate Constructors Scheme

9.37 It should again be reiterated that this is a draft CMP proposal, therefore elements within may require further amendment in mind of the impact and process of the construction, particularly once a contractor has been confirmed.

Conclusion

9.38 The proposal would not cause any unacceptable harm upon highway safety or the flow of traffic in the locality. The proposal therefore complies with Policies DMD45, DMD47 and DMD48.

Impact on Residential Amenity

- 9.39 Policy 7.6 of the London Plan states that developments should have appropriate regard to their surroundings, and that they improve the environment in terms of residential amenity. Policy CP30 of the Enfield Core Strategy seeks to ensure that new developments are high quality and design-led, having regards to their context. They should help to deliver Core Strategy policy CP9 in supporting community cohesion by promoting attractive, safe, accessible and inclusive neighbourhoods. Policy DMD8 states that new developments should preserve amenity in terms of daylight, sunlight, outlook, privacy, overlooking, noise and disturbance.
- 9.40 The surrounding area is predominantly residential and arranged in relation to the application site as follows:
- Nos.1-12 Drapers Road, semi-detached and detached housing 2-3 storeys, located to the east of the site, set across the Avalon Close highway (no-through road) at a distance of 18m (10m to boundary).
 - No.60 The Ridgeway (Kings Chace View), residential block 4 storeys, located to the south west of the site, set across The Ridgeway highway at a distance of 32m (20m to boundary).
 - Nos.2,4 and 6 Crofton Way, terraced housing 2 storey, located to the west of the site, set across The Ridgeway highway at a distance of 36m (25m to boundary).
 - Nos. 1-64 Hansart Way, 2 x 4-storey residential blocks, located to the north east of the site, set across The Enfield Lawn Tennis Club at a distance of 38m.
 - 1-6, Dudrich Mews, Drapers Road, 3 storey residential block, located to the north of the site, at a distance of 17m (8m to boundary).
- 9.41 Following site visits to the application and adjacent sites, (No.60 The Ridgeway (Kings Chace View), Nos.2,4 and 6 Crofton Way and Nos. 1-64 Hansart Way), by reason of their significant distance (25m+), location set either across The Ridgeway highway or beyond the Enfield Lawn Tennis Club and orientation due north or west, it is considered the neighbouring and nearby properties would not be subjected to any detrimental amenity impacts in terms of daylight, sunlight, outlook, privacy, noise and disturbance.
- 9.42 With regard to Nos.1-12 Drapers Road, because of the orientation due east of the site and distance upwards of 18m from the application site, it is considered the development would not result in any detrimental amenity impacts in terms of daylight and sunlight.

- 9.43 The outlook enjoyed at ground floor levels would not be detrimentally harmed, and although the proposed extensions (as with the existing buildings roof line) would sit within the visible sky angle, this would not be to any detrimental degree.
- 9.44 The existing site is sited and formed at an angle so that elevations of the application site do not directly face those at Nos.1-12 Drapers Road. The proposal would maintain this arrangement and fenestration pattern above. It is considered therefore that it would be of no greater detriment in terms of amenity levels (privacy, noise and disturbance) than the existing site arrangement.
- 9.45 With regard to 1-6, Dudrich Mews, Drapers Road, because of the orientation due north and distance of 17m from the application site, it would not result in any detrimental amenity impacts in terms of daylight and sunlight.
- 9.46 The outlook to the south facing accommodation would not be detrimentally harmed, and although the proposed extensions (as with the existing buildings roof line) would sit within the visible sky angle, this would not be to any detrimental degree.
- 9.47 With regard to the occupiers of Avalon Close itself, it is considered the proposal, by virtue of its location at roof level and position set above the footprint of the building (and in some sections recessed from elevations), would be of no greater detriment to the occupiers at ground, first and second floors of Avalon Close in terms of amenity levels (outlook, privacy, noise and disturbance) than the existing site arrangement. The proposal would result in a limited degree of additional overshadowing to the occupiers at ground, first and second floors (northern sections) however this would not be to a detrimental degree especially noting the dual aspects of the accommodation.
- 9.48 To access the top floor flats of Avalon Close, the stair core overruns at third floor level and leads out onto the open roof. The roof walkway (open and not enclosed or covered) leads to the north west and south east sections of the crossed shape block occupied by 2 flats each. The proposal, adding part 3rd and part 4th floor level extensions would enclose the roof walkway and an elevation (1 of 4), comprising the front door and a single window (serving a bathroom – based on site visit / or a room served by dual aspects) of the third floor level flats within an extended staircore / walkway.
- 9.49 Extending and enclosing the stair core overrun is acceptable, given that the third floor level flats would enjoy treble aspect accommodation, without a harmful loss of sunlight / daylight. It is understandable that this will result in a limited loss of privacy however given what these windows serve and face, neighbours currently defend their privacy either through a liberal use of curtains or obscure glazed windows. The proposal would not require any further mitigation measures as a result and would not therefore significantly impinge on the ordinary enjoyment of these flats.
- 9.50 The outlook of the flats at third floor level would not be detrimentally harmed as a result of the proposal. Where the initial submission sought to enclose the third

level terraces, the fourth floor level extensions, having been revised, are now recessed and would not extend beyond the facing elevations below.

- 9.51 The newly formed flats would not feature terraces and due to the fenestration pattern aligning with those below, overlooking would be limited to oblique views, again, much like the existing arrangement.

Conclusion

- 9.52 It is considered the proposal would have an acceptable relationship to adjoining and neighbouring properties. Although there would be disruption during construction, this can be given little weight during the assessment of the planning merits of the proposed development and conditions will be imposed to secure a construction management plan.
- 9.53 It should be noted that aspects including ventilation, fire (including details of cladding materials) and emergency escape, access (including the requirement of a lift) and facilities for people with disabilities and sound insulation between dwellings is subject to control under Building Regulations and/or the London Buildings Acts. Party wall matters would be subject to the Party Wall Act.
- 9.54 Noise associated with demolition and construction works is subject to control under the Control of Pollution Act. This includes the carrying out of building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays.

10. Sustainable Design and Construction

- 10.1 London Plan policies 5.2 and 5.3 and policies DMD 51: Energy Efficiency Standards seek to secure energy efficiencies and reduce the emissions of CO₂. Policy DMD49 of the Development Management Document states that all new development must achieve the highest sustainable design and construction standards having regard to technical feasibility and economic viability. Policy DMD 58 (water Efficiency) expects New residential development, including new build and conversions, will be required to achieve as a minimum water use of under 105 litres per person per day. Policy DMD 61 (Managing Surface Water) expects a Drainage Strategy will be required for all developments to demonstrate how proposed measures manage surface water as close to its source as possible and follow the drainage hierarchy in the London Plan.

Energy

- 10.2 The applicant has provided an Energy & Sustainability Statement, prepared by ERS Consultants Ltd confirms the proposed flats would meet the 35% CO₂ reduction over Part L of Building regulations (2013) and shall be secured by condition.

Sustainability and Sustainable Drainage Systems (SuDS)

- 10.3 The submission includes permeable surfacing for the proposed newly formed parking area, thereby demonstrating how proposed measures manage surface water.
- 10.4 The proposed green roof covers 190 square metres of a possible 322 square metres (footprint of the parent building), thereby maximising opportunities for biodiversity and water attenuation. Subject to a condition securing matters, the offer is considered acceptable and would not be accessible for amenity purposes.

Water

- 10.5 A condition shall secure that the proposed development will implement water efficiency measures to achieve usage of less than or equal to 105 litres/person/day.

Conclusion

- 10.6 The design and construction of the proposal would have appropriate regard to environmental sustainability issues including energy and water conservation, renewable energy generation, and efficient resource use. The proposal therefore to complies with Policies DMD49, DMD51, DMD58 and DMD61.

11.0 Landscaping and Trees

- 11.1 Policy DMD 80 retains and protects trees of amenity and biodiversity value on the site and in adjacent sites that may be affected by proposals. Policy DMD 81 ensures development must provide high quality landscaping that enhances the local environment.
- 11.2 The site contains a number of mature trees across the site ranging from B to C category, however given it falls outside a conservation area, no trees are covered with a designation (Trees in the conservation areas are statutorily protected - Tree Preservation Order).

Tree protection / retention measures

- 11.3 Tree removal is not required to implement the proposal, however the removal of T23 (Oak – alongside the boundary with the Tennis Club) is recommended for removal due to its quality/condition and is supported by officers.
- 11.3 Given the scope of the works proposed atop existing structures, it is likely activities associated with the construction process could impact trees of amenity and biodiversity value across the site. In addition, the proximity of the cycle store with existing trees has also been accounted for.
- 11.4 An arboriculture report in support of the application has been submitted and indicates:
- The trees existing on the site shall be protected against damage throughout the period of building and other operations

- Incursion of a trees Root Protection Area (RPA) shall take place
- The cycle store would not harm the RPA of the adjacent existing tree

Conclusion

11.5 The proposal would retain and protect trees of amenity and biodiversity value. The proposal therefore to complies with Policy DMD80.

12 Community Infrastructure Levy (CIL)

12.1 Due to the nature and scale of the development would be liable for the Mayoral and Enfield CIL.

13. Conclusion

13.1 It is considered the proposal would provide 8 flats of a good standard of living accommodation that would contribute to the housing stock in the borough. Furthermore, the proposed extensions are considered appropriate in form and design and would not result in detrimental harm to the character and appearance of the buildings, the pair of which it is a part, and the locality.

13.2 It is also considered that the proposal would not cause any unacceptable harm upon highway safety or the flow of traffic in the locality.

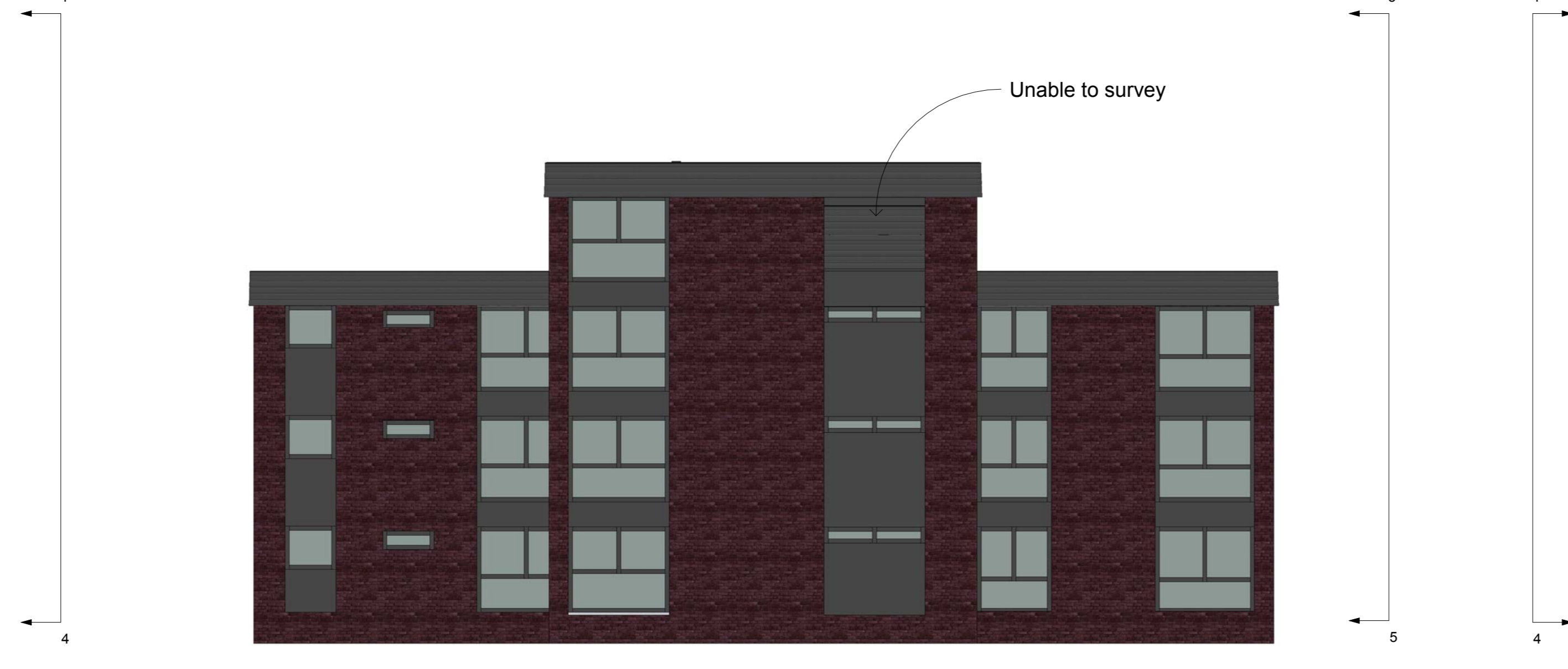
13.3 In terms of residential amenity, whilst there would be some disruption during construction and specifically those at third floor level, this cannot form a material consideration or be given weight to resist the proposal especially as it is considered the proposal, by virtue of their size, location and proximity would not harm the amenity of occupying and neighbouring residents.

13.4 The design and construction of the proposal would have appropriate regard to environmental sustainability issues including energy and water conservation, renewable energy generation, and efficient resource use. In addition, the proposal would retain and protect trees of amenity and biodiversity value.

13.5 Consequently, the development is considered appropriate and in accordance with relevant National and Regional Policy, Core Strategy and Development policies.



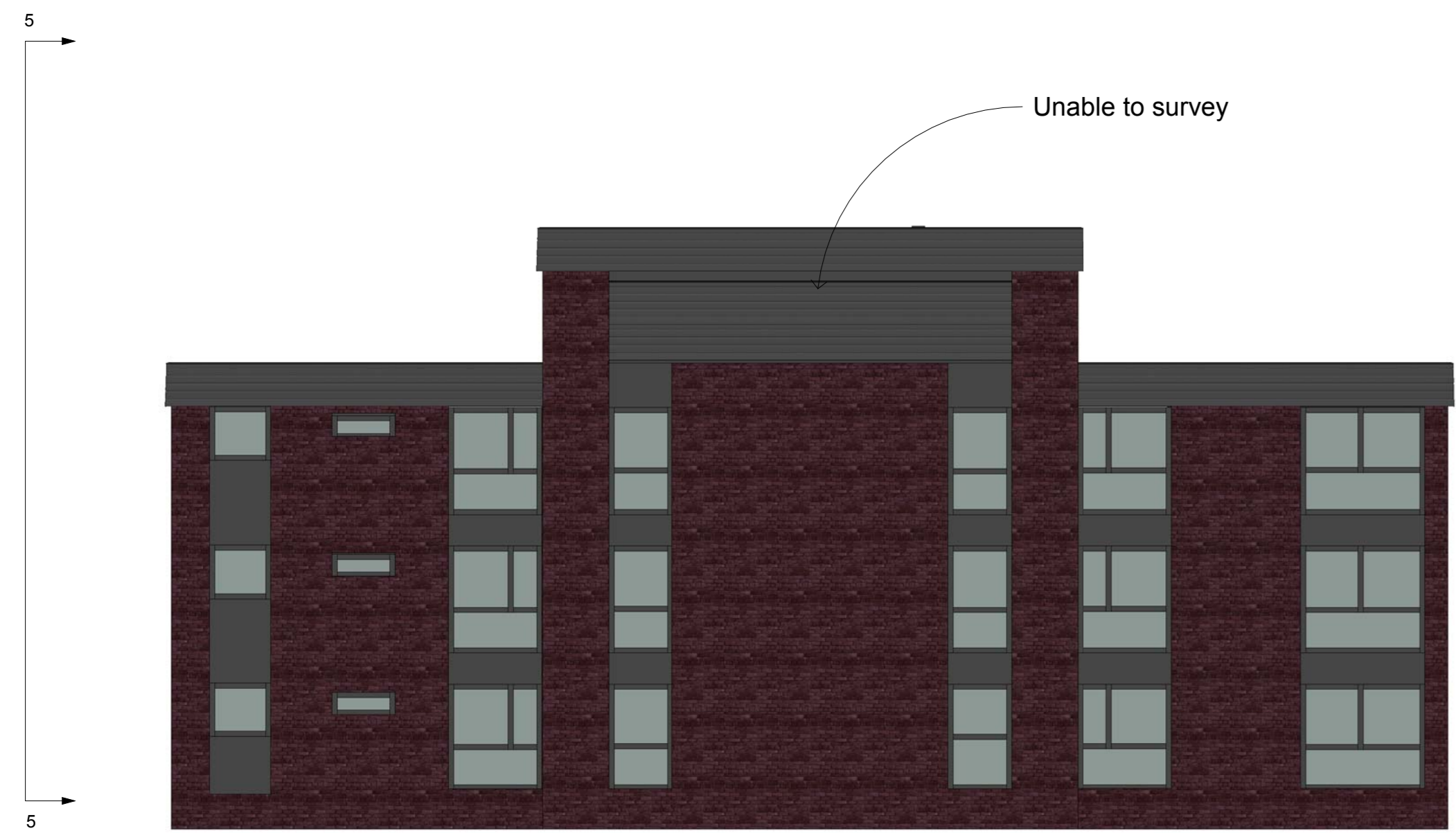
0 - Front Elevation E1
1 : 100



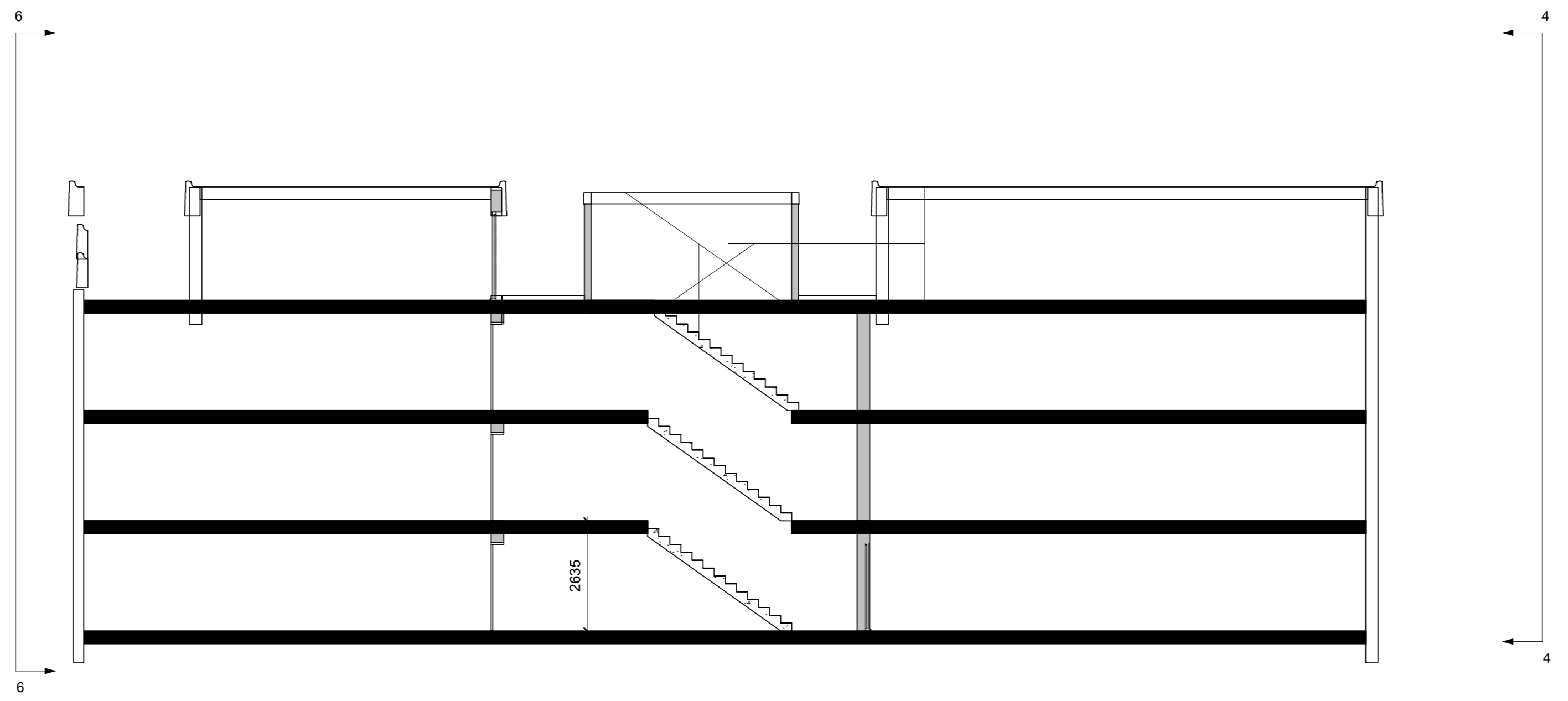
1 - Side Elevation E2
1 : 100



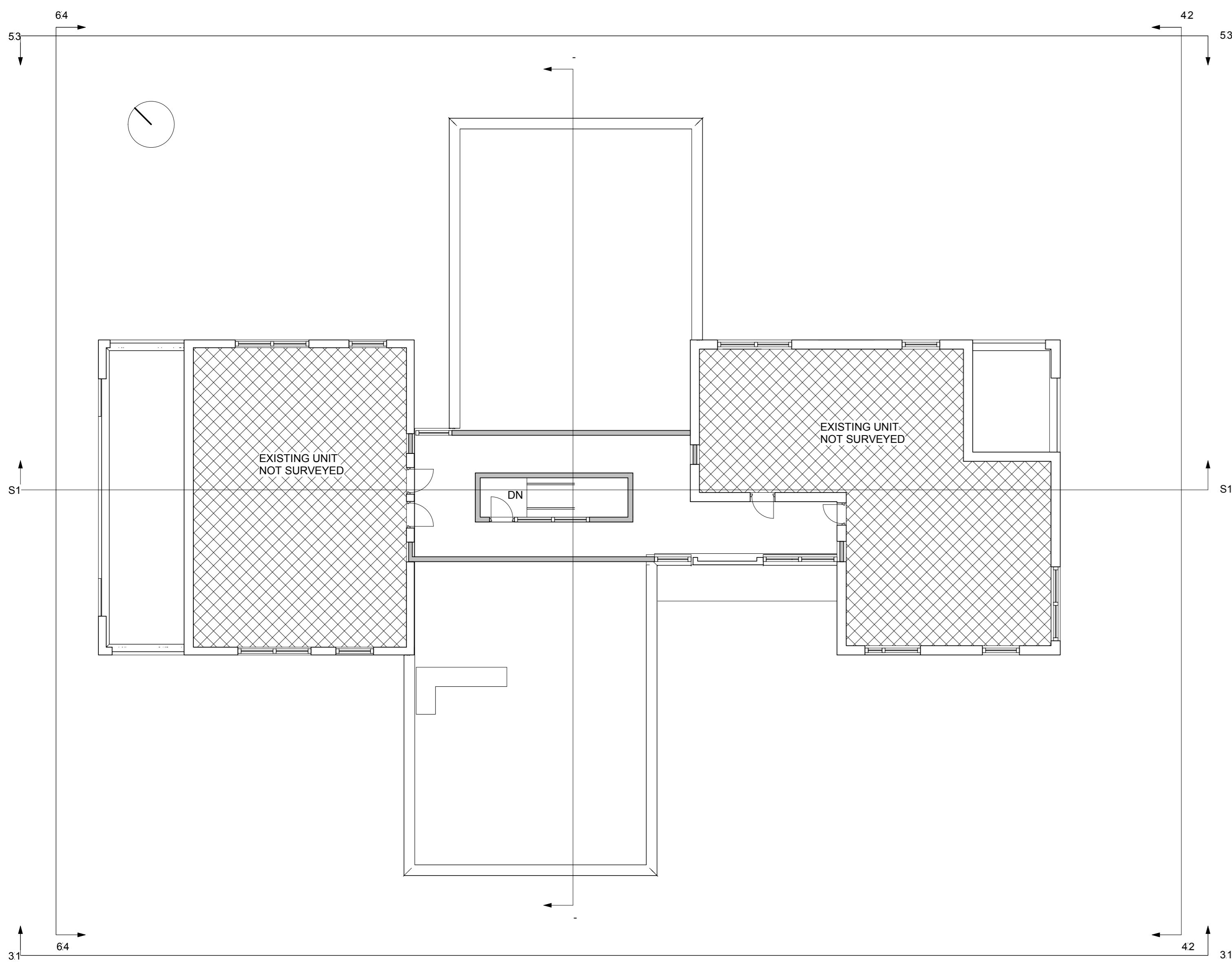
2 - Rear Elevation E3
1 : 100



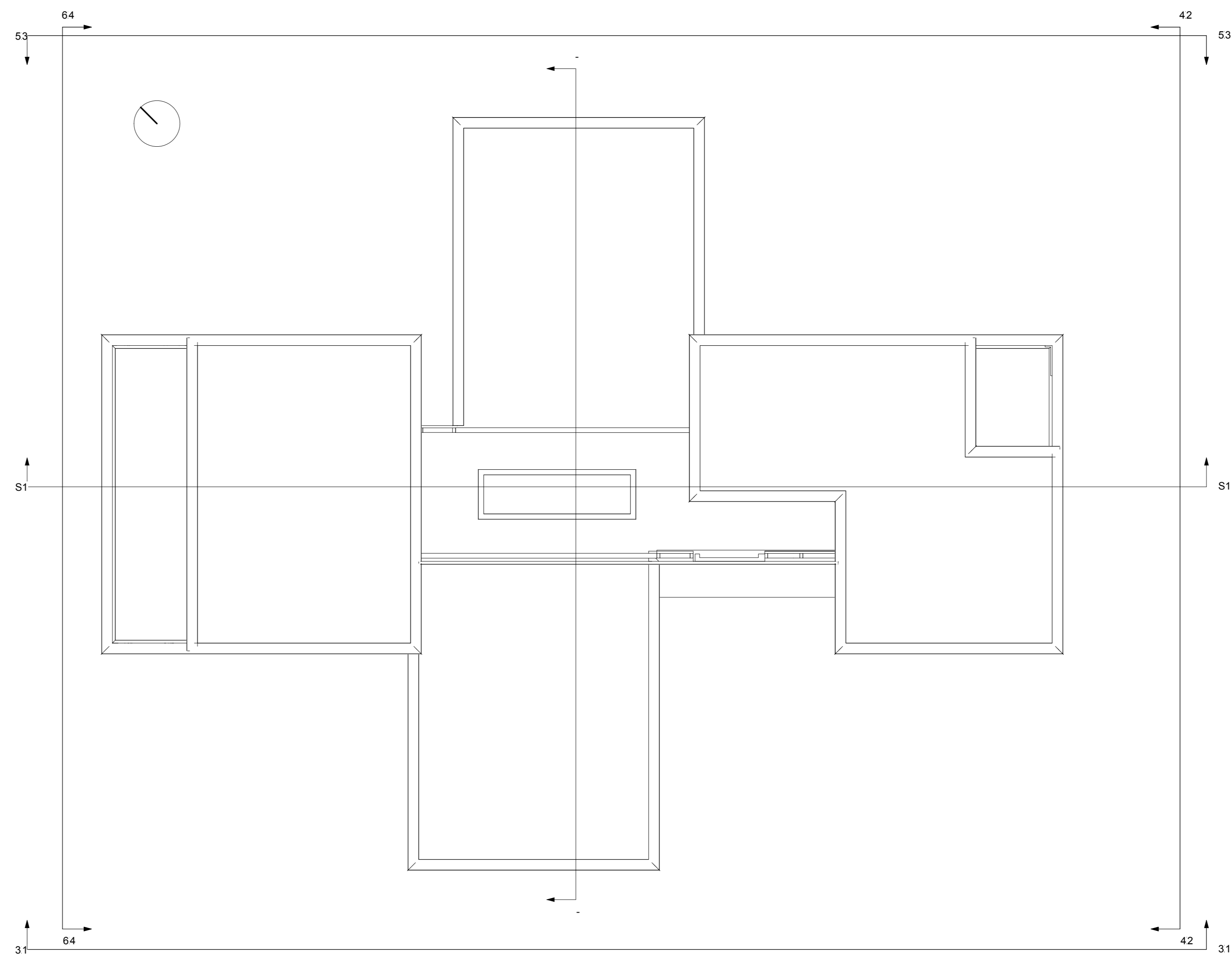
3 - Side Elevation E4
1 : 100



4 - Existing Section S1-S1
1 : 100



5 - Third Floor - Existing
1 : 100

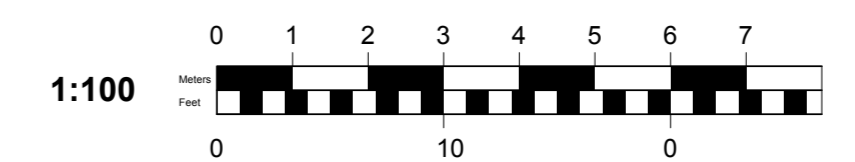


6 - Fourth Floor - Existing
1 : 100

PURPOSE OF ISSUE		
Planning		
PROJECT NO:		
DA123		
PROJECT:		
Avalon Close Enfield		
DRAWINGS:		
Existing Elevations & Floorplans		
SCALE (@ A0)	DRAWN:	CHECKED:
1 : 100	DA	DA
DRAWING REF:	DATE	
RE/DA621/18/1	15/02/2019	
	REVISION	
	2	

- NOTES
1. Any inaccuracies or errors to be reported to the immediately prior to any work commencing.
 2. All dimensions to be verified on site.
 3. All work to comply with British Standards Code of Practice.
 4. All external surfaces and materials to match.
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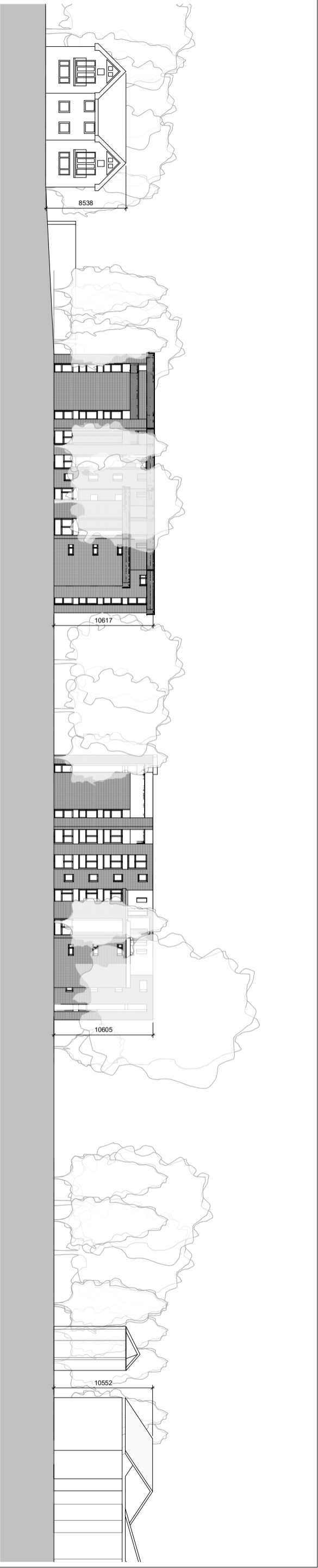


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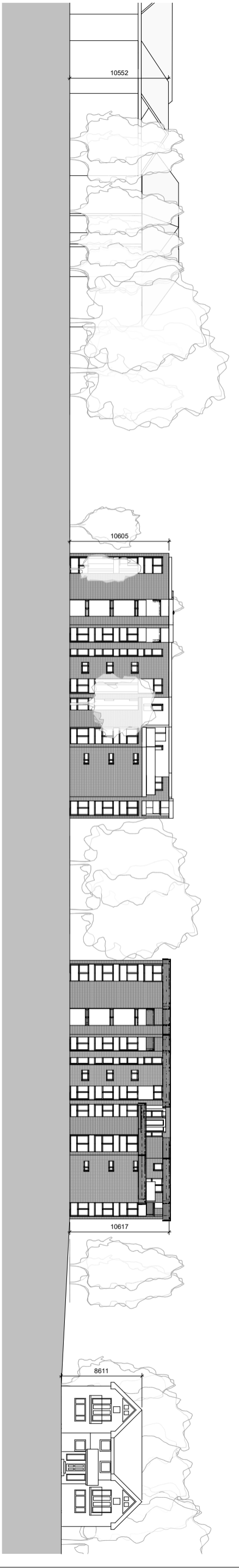


PURPOSE OF ISSUE		
Planning		
PROJECT NO:		
DA621		
PROJECT:		
Avalon Close The Ridgeway Enfield, EN2 8LR		
DRAWINGS:		
Location Plan		
SCALE (@ A1)	DRAWN:	CHECKED
1 : 500	DA	DA
DRAWING REF.	DATE	
RE/DA621/18/6	18/02/19	
REVISION		1

- NOTES
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 4. All external surfaces and materials to match.



1 Existing Streetscene From The Ridgeway road
1 : 200



2 Existing View From Avalon Close
1 : 200

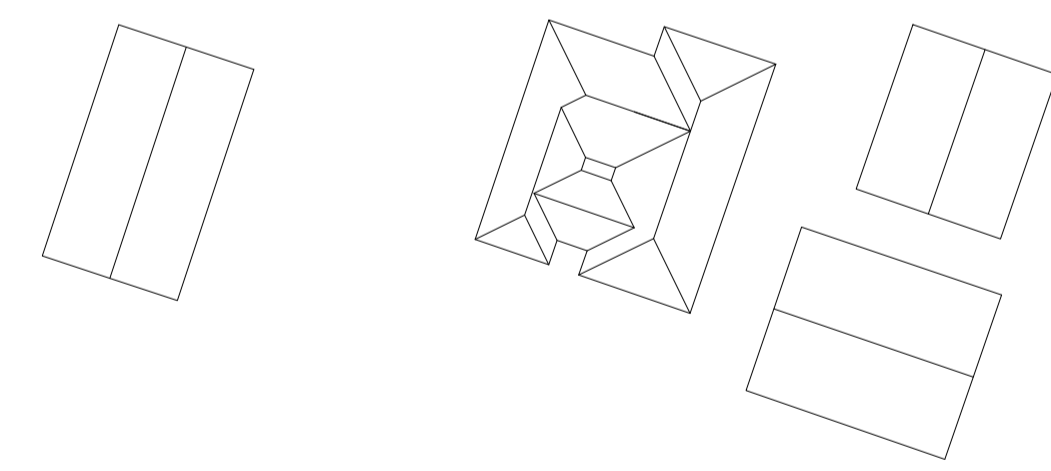
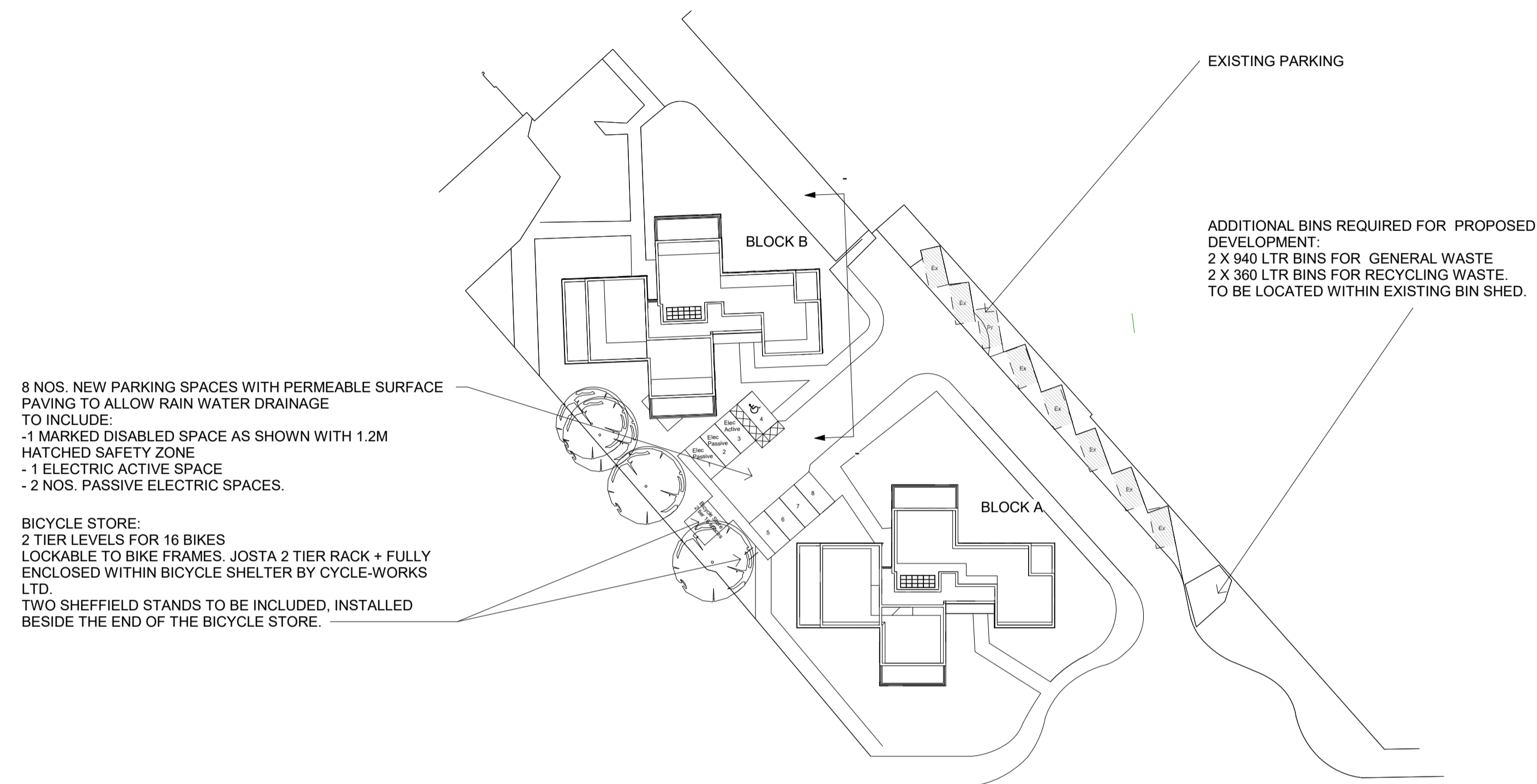
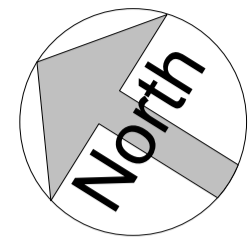
PURPOSE OF ISSUE	Planning
PROJECT NO-	DA621
PROJECT:	Avalon Close, Eritfield EN2 8LP
DRAWINGS:	Site Elevation - Existing
SCALE (@ A1)	DRAWN: DA
1 : 200	CHECKED: DA
DRAWING REF:	DATE: 03/25/19
REDA621/185	REVISION:

NOTES

1. Any inaccuracies or errors to be reported to the immediately prior to any work commencing.
2. All work to be done in accordance with the British Standards Code of Practice.
3. All external surfaces and materials to match.
4. All external surfaces and materials to match.

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1 0 - Site Plan - Proposed
1 : 500

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EXISTING TIMBER SLATTED BINSTORE TO HOUSE NEW BINS

BICYCLE STORE OPTIONS:



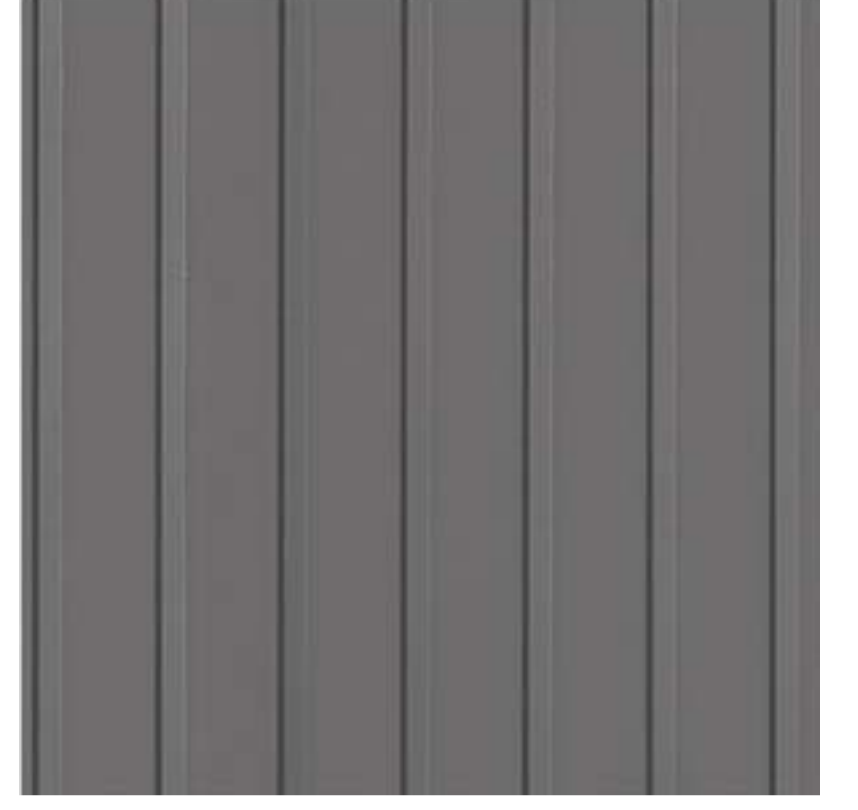
BIKE STORE OPTION 1:
THE JOSTA® BIKESTORE 2 - 2-TIER SECURE BIKE LOCKER WITH JOSTA 2-TIER RACK WITH INDIVIDUAL CYCLE LOCKER ENCLOSURE. A MINIMUM OF 2.5M OF FREE SPACE IN FRONT OF THE DOORS IS RECOMMENDED. GALVANISED OR POWDER COATED MILD STEEL - OTHER COLOURS AVAILABLE.
HEIGHT: 2550MM WIDTH: 850MM DEPTH: 2050MM



BIKE STORE OPTION 2:
CW HIGHER SOFFIT BIKE SHELTERS MADE OF GALVANISED AND POWDER COATED MILD STEEL. CLADDING MANUFACTURED FROM 5MM UV STABLE, SHATTERPROOF, IMPACT-RESISTANT AND NON-COMBUSTIBLE TRANSLUCENT PET MATERIAL. ALL STANDARD RAL AND BS COLOURS ARE AVAILABLE, GALVANISED FINISH AS SHOWN PROPOSED.
HEIGHT: 2750MM, DEPTH: 2300MM, LENGTH: AS REQUIRED.



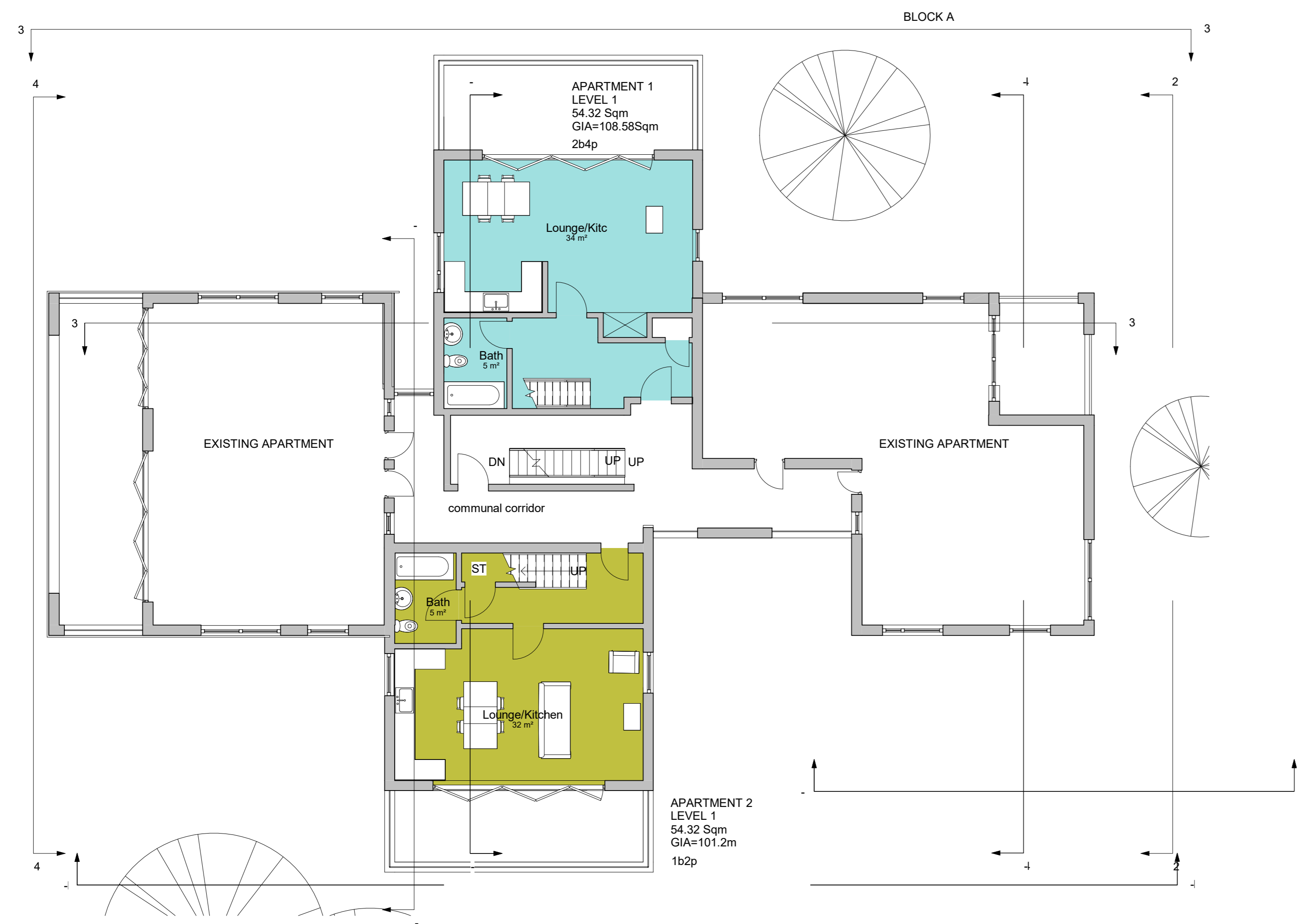
2 NOS. SHEFFIELD STANDS TO BE LOCATED ADJACENT END OF BICYCLE STORE



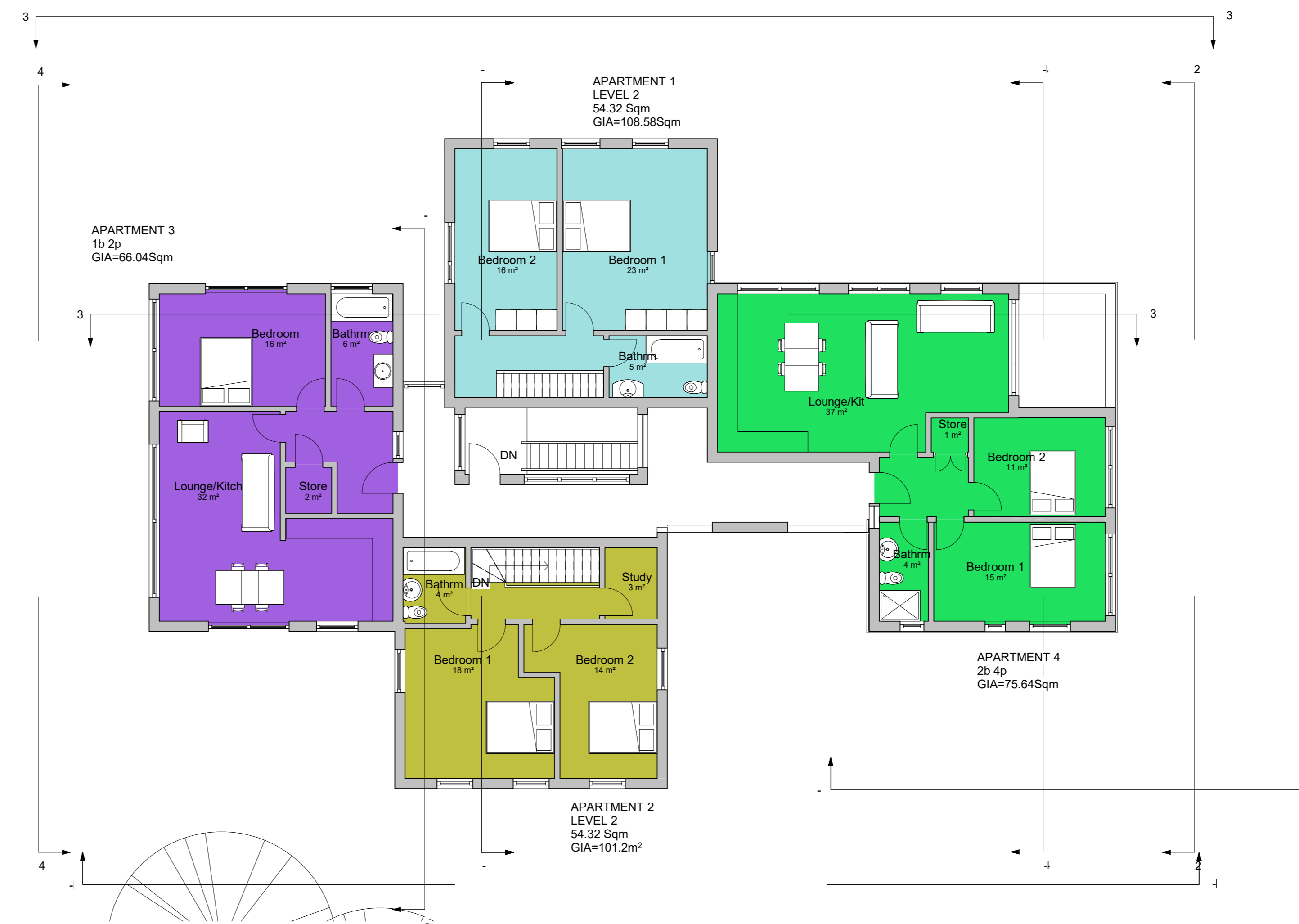
VM Zinc vertical standing seam ventilated cladding system
Collier House Mead Lane
Hertford
Herts SG13 7AX
Tel: 0203 445 5640
Email: vmzinc.uk@vmbuildingsolutions.com

PURPOSE OF ISSUE		
Planning		
PROJECT NO: DA621		
PROJECT: Avalon Close, Enfield EN2 8LP		
DRAWINGS: Site Plan Proposed		
SCALE (@ A1) 1 : 500	DRAWN: EB	CHECKED JF
DRAWING REF. RE/DA621/18/4	DATE 25/09/19	
REVISION		

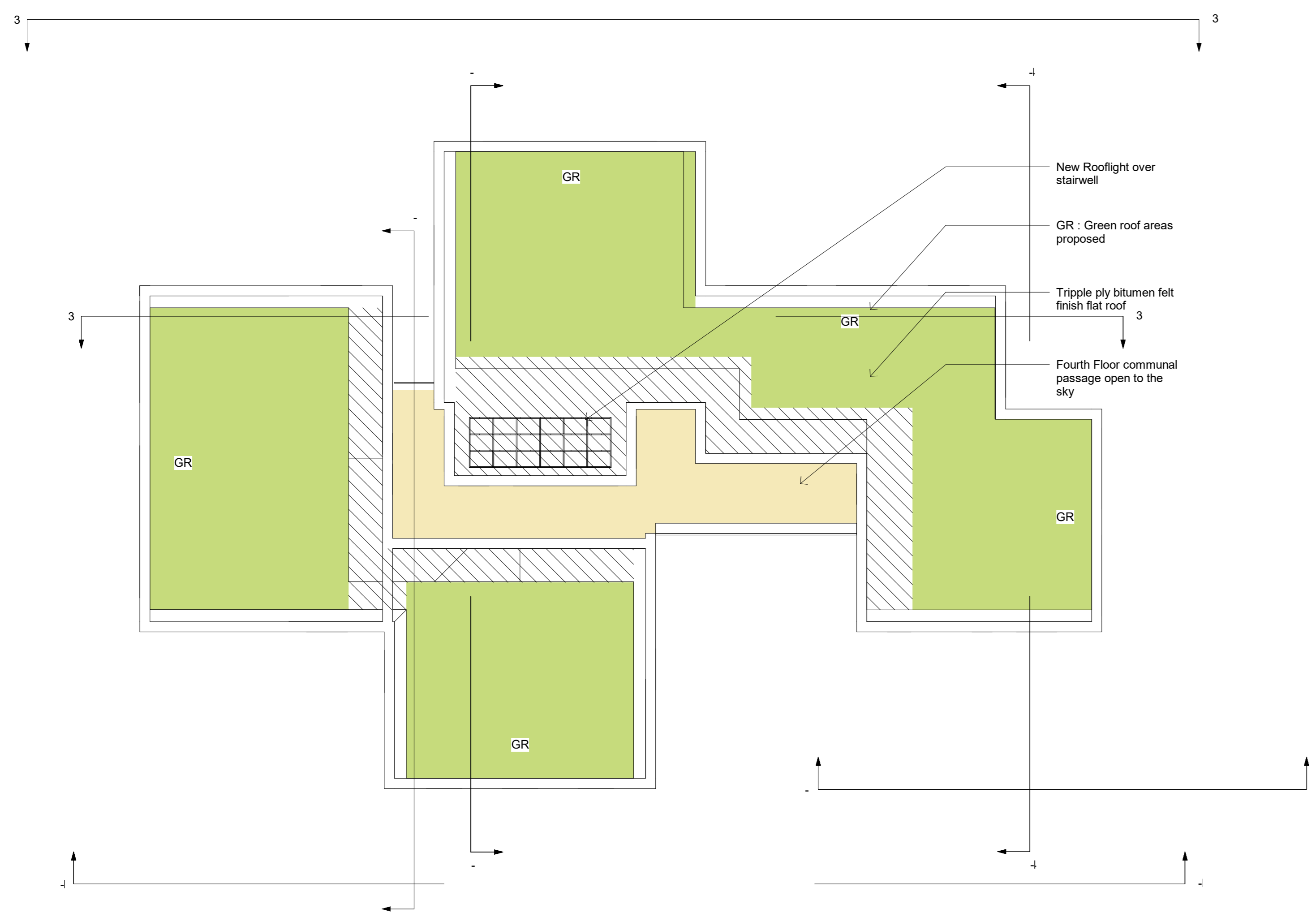
- NOTES
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1 3 - 3rd Floor Proposed
1 : 100



2 4 - 4th Floor - Proposed
1 : 100



3 Roof Plan
1 : 100

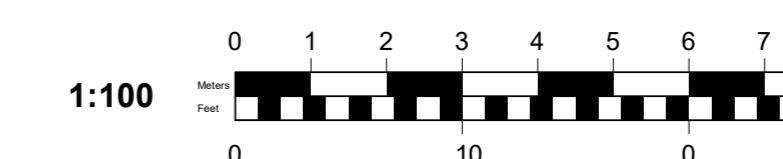


4 Section 4-
1 : 100

PURPOSE OF ISSUE		
Planning		
PROJECT NO:		
DA621		
PROJECT:		
Avalon Close, Enfield EN2 8LP		
DRAWINGS:		
Proposed Layouts & Roof Plans		
SCALE (@ A0)	DRAWN:	CHECKED
1 : 100	EB	Checker
DRAWING REF:	DATE	REVISION
RE/DA621/18/3	04/10/2019	1

- NOTES
1. Any inaccuracies or errors to be reported to the immediately prior to any work commencing.
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1 0 - Front Elevation E1 Proposed
1:100



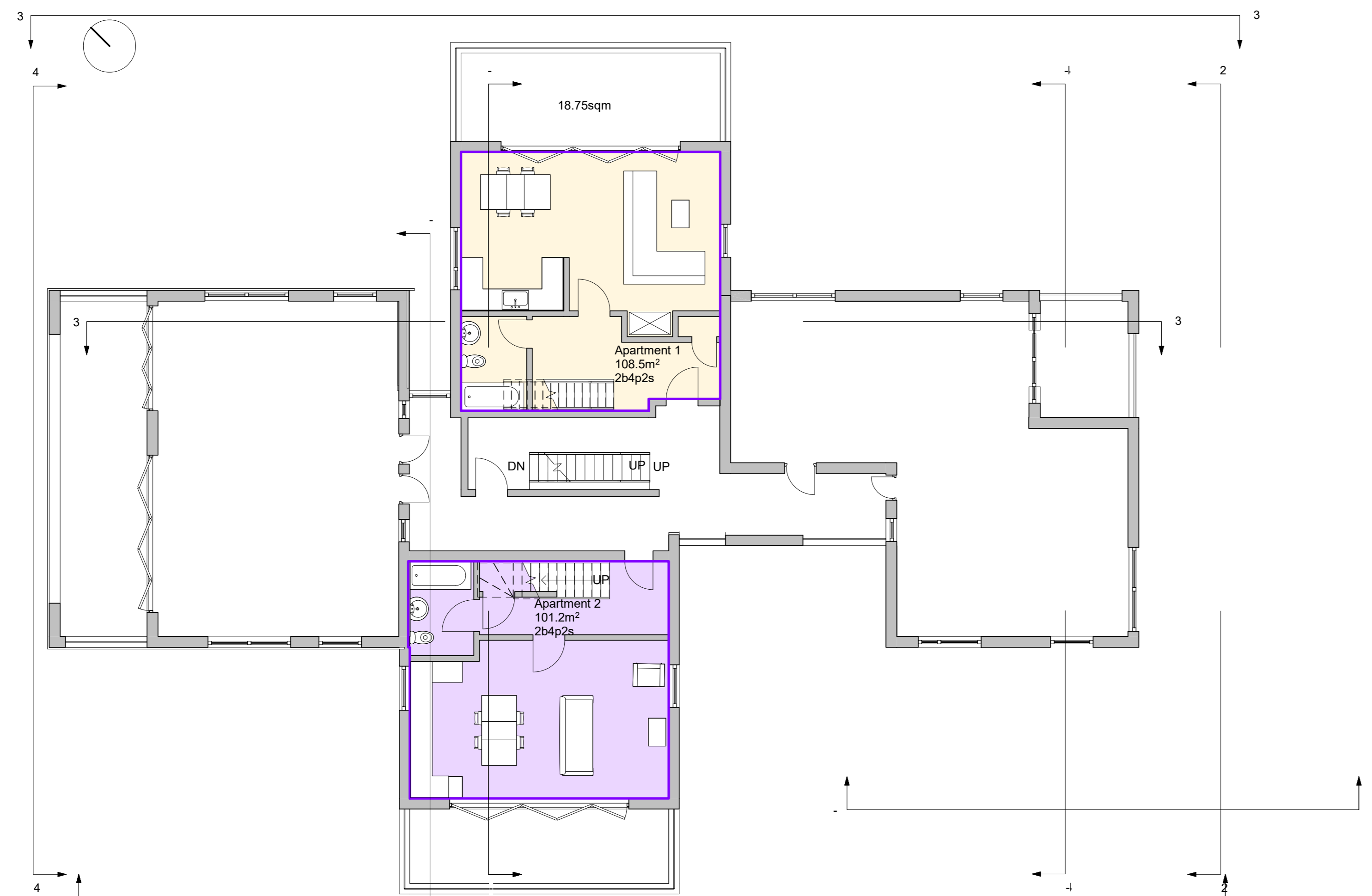
2 1 - Side Elevation E2 Proposed
1:100



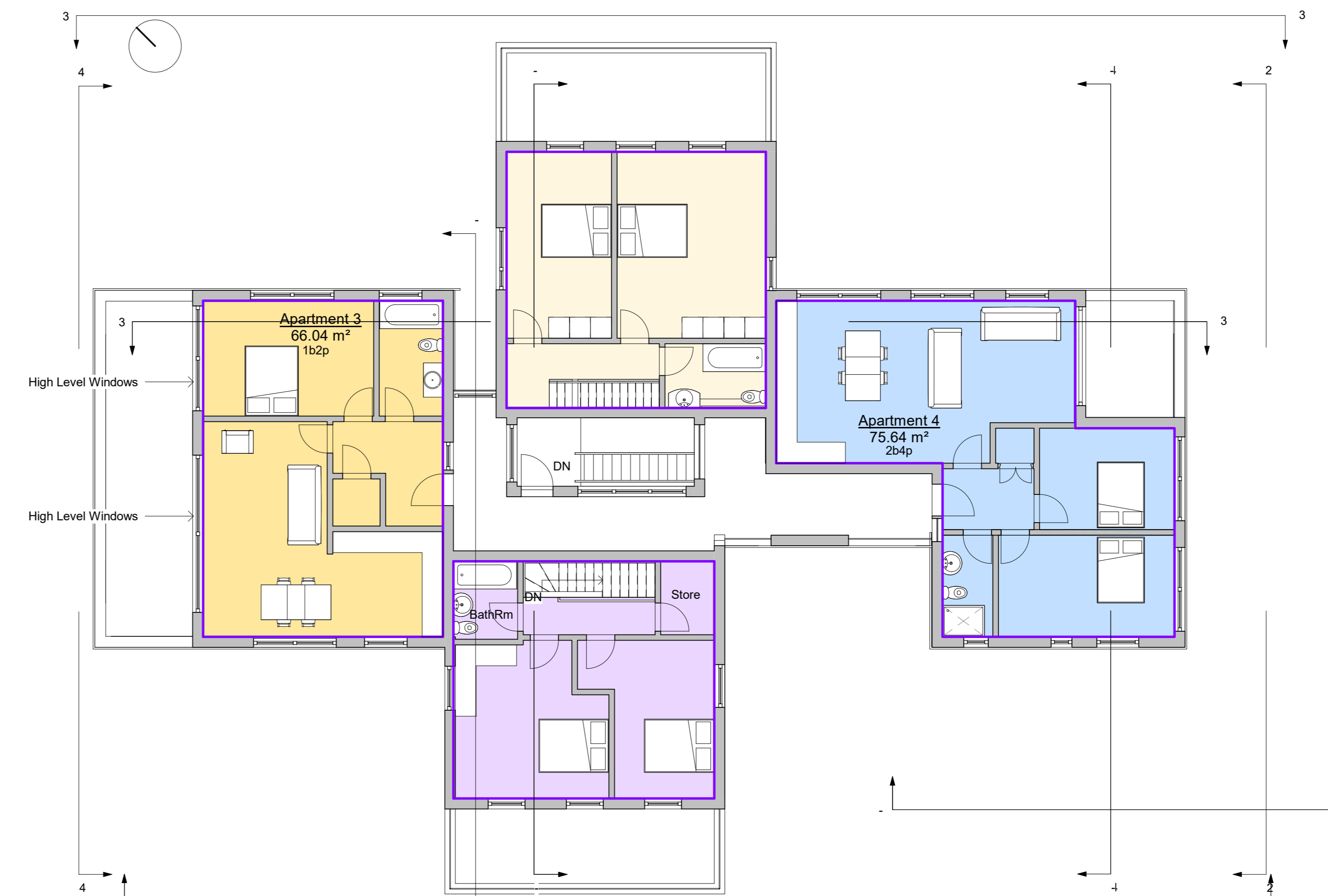
3 2 - Rear Elevation E3 Proposed
1:100



4 3 - Side Elevation E4 Proposed
1:100



5 3 - 3rd Floor Proposed
1:100



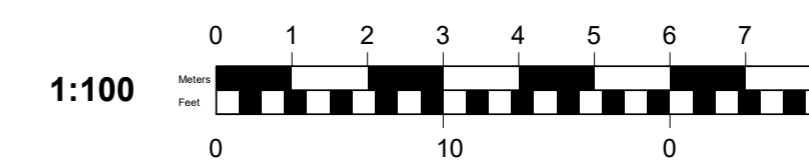
6 4 - 4th Floor - Proposed
1:100

APARTMENT 1	
Area	
Apartment 1 Level 1	54 m²
Apartment 1 Level 2	54 m²
109 m²	
APARTMENT 2	
Area	
Apartment 2 Level 1	50 m²
Apartment 2 Level 2	51 m²
101 m²	
APARTMENT 3	
Area	
Apartment 3	66 m²
APARTMENT 4	
Area	
Apartment 4	76 m²

PURPOSE OF ISSUE	
Planning	
PROJECT NO:	
DA621	
PROJECT:	
Avalon Close, Enfield	
EN2 8LP	
DRAWINGS:	
Proposed - Block A (1 to 22) & Block B (23 to 44)	
SCALE (@ A0)	DRAWN:
1:100	EB
CHECKED:	DATE
DA	16.01.19
DRAWING REF:	REVISION
RE/DA621/18/2	6

- NOTES
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Common Sedum green roof (sempervivum and moss) on additional layer of waterproof material (as specified by green roof specialist) Drainage outlets to be cut into the containment to allow water to flow into the roof's guttering.

Roof finish to be tripple ply felt, to be drained via externally mounted hopper/RWP as existing.

Zinc cladding system such as VMZinc (or similar approved) Vertical standing seam ventilated cladding system. Colour: Grey.

Glazed roof light over stairwell area with double glazing to stairwell enclosure at roof level to let in maximum natural light

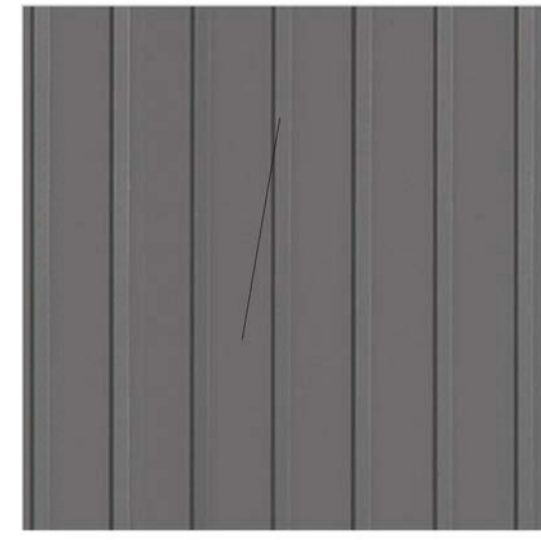
Horizontal wide strip windows cill level 1.7m above internal floor finish level.

200mm roof parapet upstand to retain sedum roof planting.

Proposed single storey extension (clad in zinc) over (2 Nos.) 4 storey wing areas of existing brick walled apartment block



Zinc cladding to walls of proposed extension to be standing seam with smooth surface and colour: Goose Wing Grey

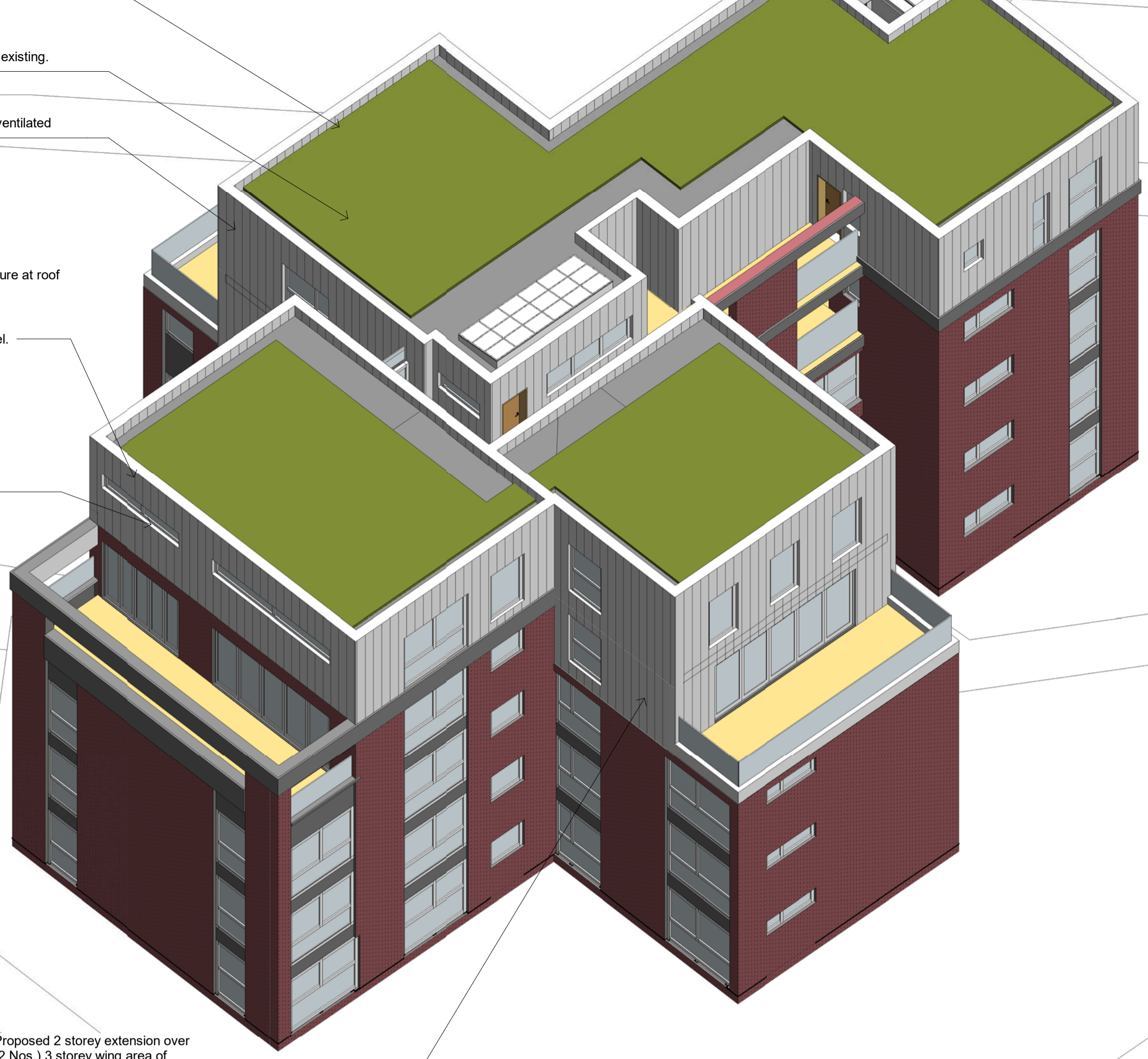


VM Zinc vertical standing seam ventilated cladding system
 Collier House Mead Lane
 Hertford
 Herts SG13 7AX
 Tel: 0203 445 5640
 Email: vmzinc.uk@vmbuildingsolutions.com

Proposed 2 storey extension over (2 Nos.) 3 storey wing area of existing brick walled apartment block



1 Proposed roof aerial view 1

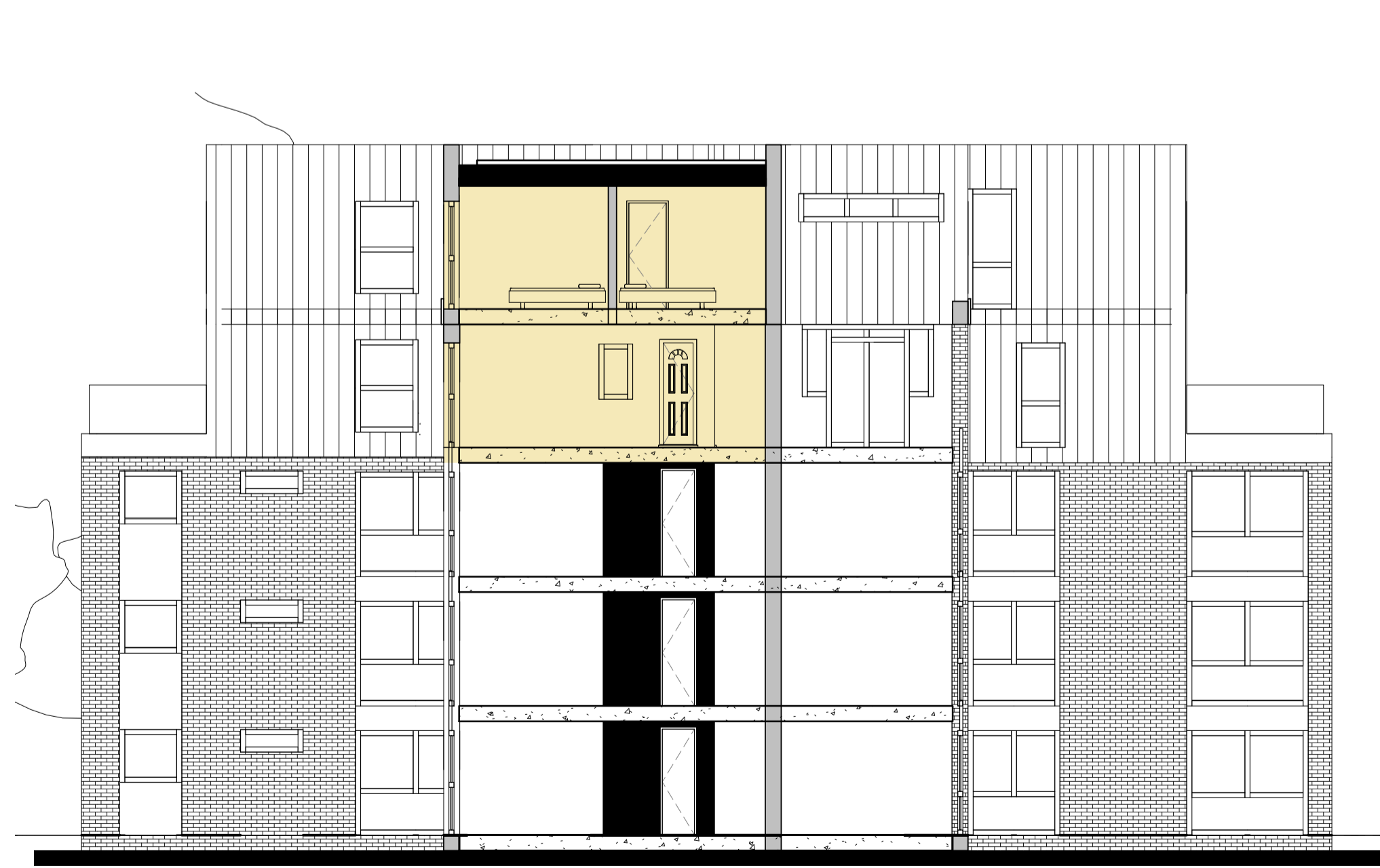


2 Proposed roof aerial view 2



Top of parapet 13463
 Top of Roof LVL 13063
 4 - 44 -44th Floor PrcProposed 10110260
 3 - 3rd Floor Proposed 7560
 2 - 2nd Floor 5040
 1 - 1st Floor 2520
 0 - Ground Floor 0

3 Section 4
 1 : 100

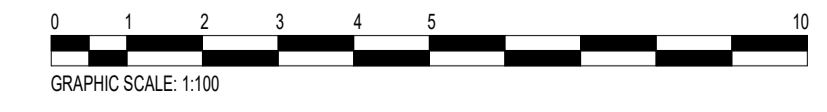


4 Section 1
 1 : 100

PURPOSE OF ISSUE		
Planning		
PROJECT NO: DA621		
PROJECT: Avalon Close, Enfield EN2 8LP		
DRAWINGS: Roof Aerial Views & Sections Blocks A & B		
SCALE (@ A1) 1 : 100	DRAWN: EB	CHECKED Checker
DRAWING REF. RE/DA621/18/8	DATE 05/11/19	
REVISION 2		

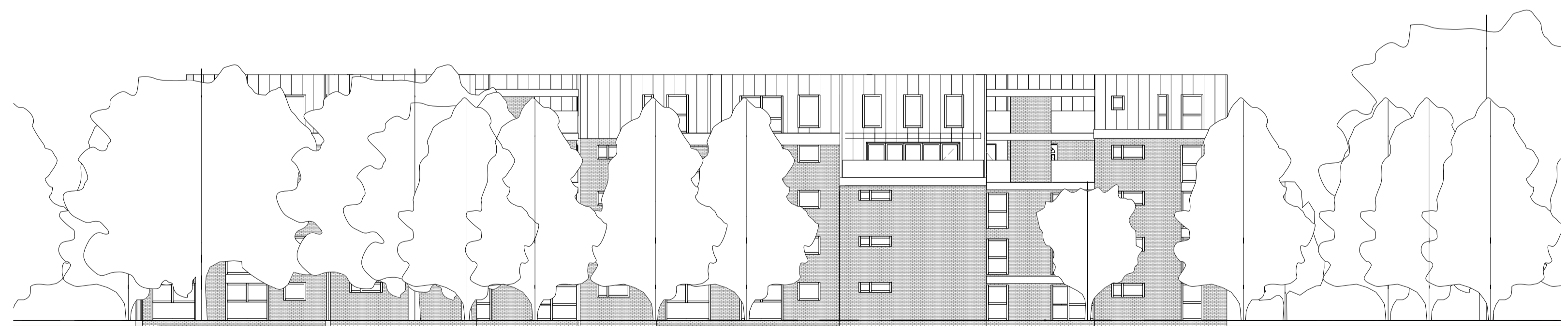
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1 Proposed View From Avalon Close
1 : 200

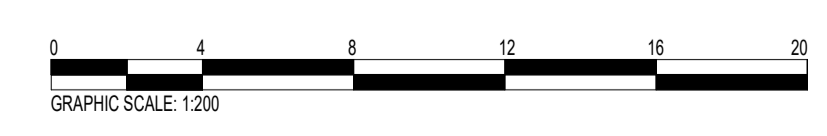


2 Proposed View From The Ridgeway Road
1 : 200

PURPOSE OF ISSUE		
Planning		
PROJECT NO:		
DA621		
PROJECT:		
Avalon Close, Enfield EN2 8LP		
DRAWINGS:		
Site Elevation - Proposed		
SCALE (@ A1)	DRAWN:	CHECKED
1 : 200	EB	DA
DRAWING REF.	DATE	
RE/DA621/18/6	26/09/19	
REVISION		
3		

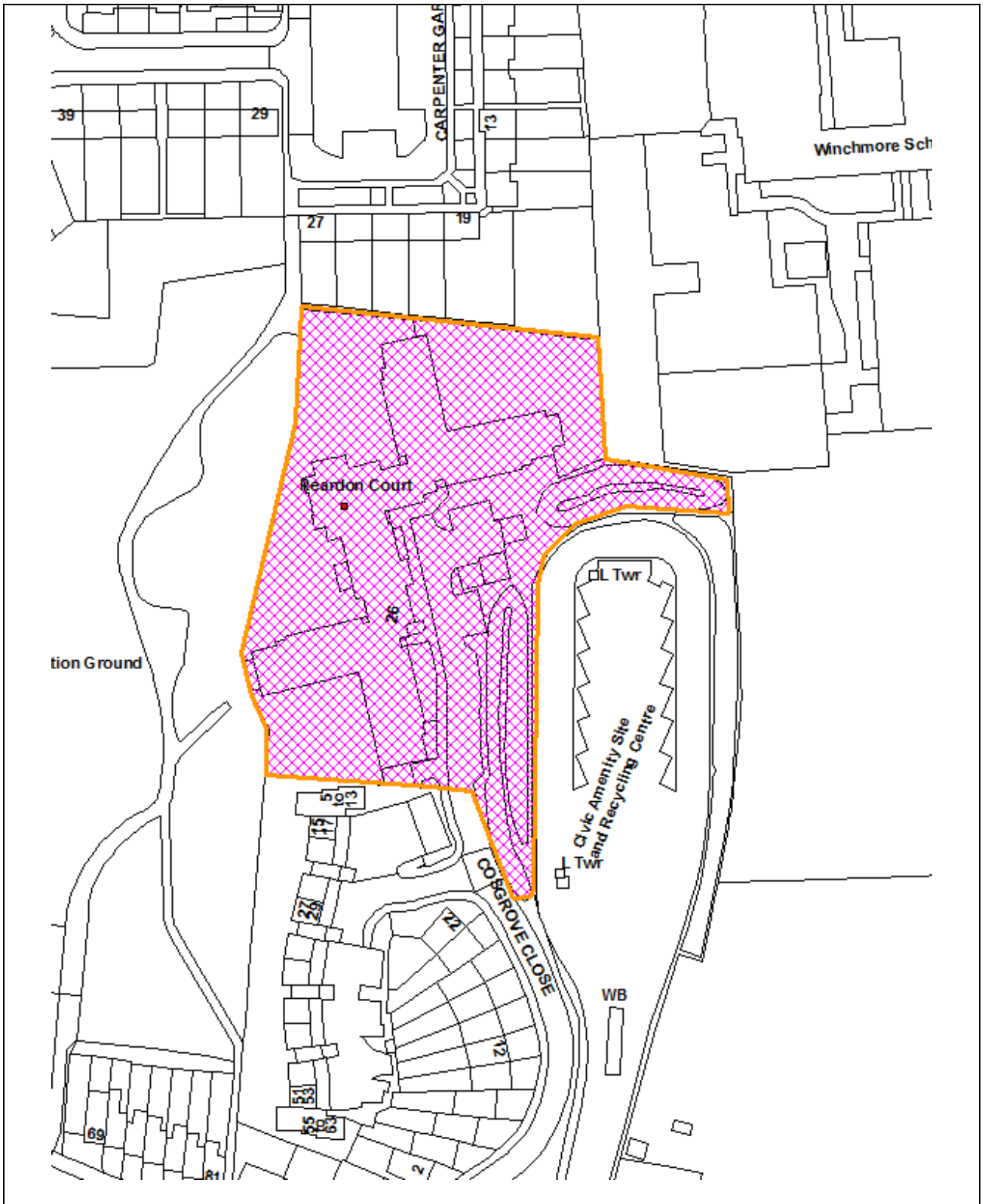
- NOTES
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FOR PLANNING PURPOSES ONLY



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LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE		Date: 4 th February 2020
Report of: Head of Planning	Contact Officer: Alex Johnson Claire Williams Andy Higham	Ward: Winchmore Hill
Application Number: 19/03802/RE4		Category: Major
LOCATION: Reardon Court, 26 Cosgrove Close, London, N21 3BH		
PROPOSAL: Erection of part 3, part 4 storey building to provide extra care accommodation in the form of 91 flats (81x1 bed and 10x2 bed) (use class C3) with courtyard, communal facilities including lounge, multi-use room, laundry, hairdressing room, mobility scooter store, library/IT room, guest room together with staff room/office and associated plant, storage room, landscaping and parking.		
Applicant Name & Address: Mr Bindi Nagra P O Box 50, Civic Centre, Silver Street, Enfield EN1 3XA		Agent Name & Address: Mr T Nadaraju P O Box 50, Civic Centre, Silver Street, Enfield EN1 3XA
RECOMMENDATION: In accordance with Regulation 4 of the Town and Country Planning General Regulations 1992, planning permission be deemed to be GRANTED subject to conditions.		



1. Note for Members

- 1.1 The application has been brought to the Planning Committee because the applicant is the Council and it constitutes a major development scheme.

2. Recommendation

- 2.1 That In accordance with Regulation 4 of the Town and Country Planning General Regulations 1992, planning permission be deemed to be GRANTED subject to the following conditions.

1. Time Limited Permission
2. Development to be carried out in accordance with approved plans and documents.
3. Existing and proposed levels
4. Construction Management Plan
5. Details of all external materials i.e. details of brickwork, brick bonding, Enfield motif logo, doors, windows and balconies and details of surfacing materials
6. North and south facing balconies to be fitted with privacy screens
7. Detailed Landscaping Plan
8. Energy Statement
9. Energy Performance Certificate
10. Potable Water
11. Biodiversity Enhancements
12. Details of External Lighting
13. Waste and Recycling Strategy
14. Boundary Treatments
15. Site Waste Management Plan
16. Green Roof Details
17. Green Procurement Plan
18. Investigation and assessment of the extent of contamination and the measure to be taken to avoid risk to health
19. Remediation Strategy
 - a. Verification Report
 - b. Long Term Monitoring plan for contamination
 - c. Previously Unidentified Contamination

- 20 SuDS Infiltration
- 21 Piling
- 22 Recommissioning of Boreholes
- 23 SUDS Strategy
- 24 SuDS Verification
- 25 CCTV Camera Details
- 26 Vehicle Tracking Details
- 27 Details of Servicing/Emergency Vehicle Access
- 28 Cycle Parking
- 29 Full details of mobility scooter storage
- 30 Electrical Car Charging Points
- 31 10% of dwellings to meet Building Regulations M4(3)
- 32 All other dwellings to meet Building Regulations M4(2)
- 33 Future connection to DEN (subject to further discussions)
- 34 Residential – C3 Only as extra care units for aged 55+
- 35 Affordable Housing
- 36 No additional plant and TV equipment

2.2 It is also requested that authority to finalise the wording of conditions under the above headings, is given to officers to ensure they reflect any issues raised by Planning Committee and / or any reported updates to the meeting.

3. **Executive Summary**

3.1 The report seeks approval to a scheme involving the demolition of the existing building and the re-development of the application site to provide a part three, part four storey building comprising of 91 extra care specialist residential accommodation units, 81 one bedroom units and 10 two bedroom units. In addition, the scheme also seeks associated hard and soft landscaping, parking areas, storage for mobility scooters, a communal lounge, multi-use room, a library, hair salon, guest room, associated staff and office space.

- 3.2 The reasons for recommending approval are:
- i) The proposed development would be consistent with the objectives of national, regional and local planning policy in terms of supporting and securing sustainable growth and delivery of specialist extra care accommodation within the borough;
 - iii) The development would meet an identified need for extra care units in the borough and enable older and vulnerable people to live independently in their own homes for longer due to on site care.
 - iv) The development would provide 100% affordable housing.
 - iv) The development of the site would provide jobs on site within the borough in relation to the proposed re-development of the site;
 - v) The development would improve the local environment
 - vi) The existing site which is little architectural merit would be improved through the development of the application site.
 - vii) In comparison to the existing building on site the proposed new building would be significantly more sustainable and energy efficient;
 - viii) The proposed development would not result in any undue harm to the residential amenity of neighbouring residential properties.
- 3.3 The existing site area is 7400 sqm. The application proposes an additional 9147 sqm of gross internal residential floorspace and 5465 sqm net additional gross floorspace.

4. Site and Surroundings

- 4.1 The site, measuring 0.074ha, comprises an existing two storey care home facility that has been disused since 2016. Demolition works have recently commenced on site.
- 4.2 The application site is a large rectangular plot with residential properties to the north on Carpenter Gardens and to the south on Cosgrave Close. To the west is open space which is designated local open space. To the east is Barrowell Green recycling centre beyond which is Clowes Sports Ground which is designated Metropolitan Open Land.
- 4.3 The immediate surrounding area is largely characterised by residential uses comprising two storey dwellings.
- 4.4 The site does not contain any listed building's and does not lie within a Conservation Area. The site falls within Flood Zone 1. The previously two storey building and surrounding site context is shown for reference below.



5. Proposal

- 5.1 The proposal is for the re-development of the application site to provide a part three, part four storey building for a 91 unit extra care facility. The term 'extra care' is defined within the emerging London Plan (Policy H15) as being within Use Class C3. The proposal would provide self-contained flats comprising a kitchen, bathroom, separate bedrooms and living space within a managed facility.

More specifically the proposal comprises:

- Construction of new building which would be a part 3, part 4 storey building comprising of x81 1 extra care units and x10 2 bedroom extra care units, catering for 102 residents.
- Associated hard soft landscaping
- Provision of parking, cycle parking and mobility scooter storage area
- Provision of associated office and staff room space
- The provision of communal library, hair salon, multi-use room, guest room

- 5.2 The proposal seeks to create a total of 21 jobs, 16 of which will be full time and 5 part time.



Proposed front elevation visual

6. Relevant Planning History

- 6.1 **19/01827/LBEPRE** - Proposed erection of care home comprising of 91 units, with offices, communal areas, parking and landscaping – Response Issued
- 6.2 **15/03404/PREAPP** - Proposed installation of roof mounted solar photo-voltaic panels – Response Issued

7. Summary of Key Reasons for Recommendation

- i) The principle of providing specialist extra care accommodation subject to local need demonstration is supported
- ii) The development would meet an identified need for extra care units in the borough and enable older and vulnerable people to live independently in their own homes for longer due to on-site care.
- iii) The proposal makes efficient use of a brownfield site
- iv) The development would contribute to employment opportunities on site through the re-development of the application site
- v) The proposal offers affordable housing for which there is an identified need for extra care accommodation
- vi) The proposal offers a policy compliant standard of residential units
- vii) The development is acceptable for this location in terms of its appearance, size, siting, scale and design and is an improvement to the existing building;

- viii) The development does not have an unacceptable impact on neighbouring residential amenity
- ix) The sustainability credentials of the building will be improved by use of energy efficiency measures when compared to the existing buildings on site

8. Consultation

Public Response:

8.1 Consultation letters were sent to 200 neighbouring properties and notice was published in the local newspaper. A total of 4 objections were received in relation to the following points

- Impacts upon neighbouring amenity
- Impacts upon local ecology
- Concerns in relation to contaminated land

8.2 Officer response to neighbour comments as follows:

1. With regard to amenity and ecology impacts these are considered in full in the report below
2. In relation to contamination the Environment Agency and the Council's Environmental Health officer are satisfied that subject to conditions the proposal is acceptable in this regard.

External Consultees:

8.3 Environment Agency:

No objections subject to the imposition of conditions relating to contamination, piling, SuDS and boreholes

8.4 Metropolitan Police – Designing out Crime Officer:

No objection. Condition recommended if minded to approve

Internal Consultees:

8.5 Transportation:

No objection. Clarification being sought on vehicle tracking and cycle parking.

8.6 Environmental Health:

No objection subject to conditions

8.7 Urban Design:

No objection. Additional clarification on brickwork and balcony details being sought alongside details of Enfield motif logo on south elevation, landscaping arrangements and the entrance

8.8 SuDS:

The SuDS officer advised that they have met with the project architects. The use of a wetland in the park to the west is supported, as well as use of green roofs and rain gardens in the courtyard. Advised that they are awaiting full details of a planting schedule and details of where rainwater pipes will divert to. Members will be updated further at the Planning Committee.

8.9 Tree Officer:

No objection. The submitted Arboricultural Impact Assessment is acceptable and demonstrates no unacceptable harm to trees during the construction phase. A condition requiring management of landscaping over at least a 5 year period is recommended to secure long term positive management of onsite landscaping and ecology.

9. Relevant Policies

9.1 London Plan (2016)

Policy 3.1 – Ensuring Equal Life Chances For All

Policy 3.2 – Improving Health and Addressing Health Inequalities

Policy 3.3 – Increasing Housing Supply

Policy 3.4 – Optimising Housing Potential

Policy 3.5 - Quality and design of housing development

Policy 3.7 – Large Residential Developments

Policy 3.8 - Housing choice

Policy 3.9 - Mixed and balanced communities

Policy 3.11 – Affordable Housing Targets

Policy 3.13 – Affordable Housing Thresholds

Policy 5.1 - Climate change mitigation

Policy 5.2 - Minimising carbon dioxide emissions

Policy 5.3 - Sustainable design and construction

Policy 5.5 – Decentralised Energy Networks

Policy 5.7 - Renewable energy

Policy 5.10 – Urban Greening

Policy 5.11 – Green Roofs

Policy 5.12 – Flood Risk Management

Policy 5.13 - Sustainable drainage

Policy 5.14 - Water quality and wastewater infrastructure

Policy 5.15 - Water use and supplies

Policy 5.21 – Contaminated Land

Policy 6.9 – Cycling

Policy 6.10 - Walking

Policy 6.13 - Parking

Policy 7.1 – Lifetime Neighbourhoods

Policy 7.2 – An Inclusive Environment

Policy 7.3 – Designing Out Crime

Policy 7.4 - Local character

Policy 7.6 – Architecture

Policy 7.13 – Safety, Security and Resilience to Emergency

Policy 7.14 – Improving Air Quality

Policy 7.15 - Reducing and managing noise, improving and enhancing the acoustic environment and promoting appropriate soundscapes.

Policy 7.17 – Metropolitan Open Land

Policy 7.19 – Biodiversity

Policy 7.21 – Trees

Policy 7.30 – London’s Water spaces

Policy 8.2 – Planning Obligations

Policy 8.3 – Community Infrastructure Levy

Policy 8.4 – Monitoring and Review

9.2 The London Plan – Draft

A draft London Plan was published on 29 November 2017 for consultation purposes with a deadline for consultation of 2 March 2018. The policies in the draft plan will grow in terms of the weight they can be given as the Plan proceeds through the adoption process. The Plan has been subject to an Examination in Public and the report on individual policies is now with the Mayor for review. Certain policies if unchallenged will attract weight as a material consideration in determining applications.

9.3 Core Strategy

CP2	Managing the supply and location of new housing
CP3	Affordable Housing

CP4	Housing Quality
CP6	Meeting Particular Housing Needs
CP9	Supporting Community Cohesion
CP20	Sustainable Energy use and Energy Infrastructure
CP21	Delivering Sustainable Water Supply, Drainage and Sewerage Infrastructure
CP25	Pedestrians and Cyclists
CP28	Managing Flood Risk Through Development
CP29	Flood Management Infrastructure
CP30	Maintaining and Improving the Quality of the Built and Open Environment
CP36	Biodiversity

9.4 Development Management Document

DMD1	Affordable Housing on Sites Capable of Providing 10 units or more
DMD3	Providing a Mix of Different Sized Homes
DMD6	Residential Character
DMD8	General Standards for New Residential Development
DMD9	Amenity Space
DMD10	Distancing
DMD25	Locations for New Retail, Leisure and Office Development
DMD28	Large Local Centres, Small Local Centres and Local Parades
DMD 37	Achieving high quality and design-led development
DMD 38	Design process
DMD 39	The design of business premises
DMD 45	Parking standards and layout
DMD 46	Vehicle crossovers and dropped kerbs
DMD 47	Access, new roads and servicing
DMD 48	Transport assessments
DMD49	Sustainable Design and Construction Statements
DMD 50	Environmental assessment methods
DMD 51	Energy efficiency standards
DMD 53	Low and zero carbon technology
DMD 55	Use of roof space/ vertical surfaces
DMD 56	Heating and cooling
DMD 57	Responsible sourcing of materials, waste minimisation and green procurement
DMD 58	Water efficiency
DMD59	Avoiding and Reducing Flood Risk
DMD60	Assessing Flood Risk
DMD61	Managing Surface Water
DMD 65	Air quality
DMD 66	Land contamination and instability
DMD 68	Noise
DMD70	Water Quality
DMD81	Landscaping

9.5 Other Material Considerations

- National Planning Policy Framework (NPPF) 2019 (revised)
- National Planning Practice Guidance (NPPG)
- National Design Guide (2019)
- Enfield Characterisation Study

- Mayors Transport Strategy (May 2010)
- Revised Technical Standards for Footway Crossovers (April 2013)
- Refuse and Recycle Storage Guide Enfield (ENV 08/162)
- London Plan Housing SPG
- London Plan Affordable Housing and Viability SPG
- London Plan The Control of Dust and Emissions During Construction and Demolition SPG
- London Plan Sustainable Design and Construction SPG
- Enfield S106 SPD

10. Assessment

10.1 The main issues arising from this proposal for Members to consider are:

1. Principle;
2. Affordable Housing;
3. Quality of Accommodation
4. Design
5. Impact upon Neighbouring Amenity
6. Transport
7. Refuse, Waste and Recycling;
8. SuDS;
9. Sustainability;
10. Energy
11. Ecology;
12. Crime and Safety
13. Community Infrastructure Levy.

Principle of Development

Extra Care Use

- 10.2 The proposal seeks the development of the application site to provide 91 extra care units. The NPPG defines extra care housing as purpose-built or adapted flats or bungalows with a medium to high level of care available if required, through an onsite care agency registered through the Care Quality Commission (CQC). Residents are able to live independently with 24 hour access to support services and staff, and meals are also available. There are often extensive communal areas, such as space to socialise or a wellbeing centre. In some cases, these developments are known as retirement communities or villages – the intention is for residents to benefit from varying levels of care as time progresses.
- 10.3 Policy 6 of the Council's Core Strategy sets out the Council's guiding principles for meeting particular housing needs, and states:
- 10.4 *"The Council, with its partners, will develop flexible and accessible accommodation services that meet the local housing needs of vulnerable adults and that support the delivery of the Personalisation Agenda. Future accommodation requirements will be set out in the emerging Health and Adult Social Care commissioning strategies. These strategies should be used as a tool for shaping and informing future development in the Borough. There is a*

particular need to control the development of traditional residential care home provision and align the development of supported accommodation services with local need’.

The Council will work to ensure that there is appropriate provision of specialist accommodation across all tenures. Criteria for assessing applications for housing to meet particular needs, having regard to need and supply will be set out in the Development Management Document.”

- 10.5 Furthermore, Policy DMD15 of the Council’s adopted Development Management Document refers to specialist housing needs, and states that:

“Development proposals for specialist forms of housing would only be permitted if all of the following criteria are met:

- a. The development would meet an identified borough need for that form of specialist housing having regard to evidence of need in the Council’s Market Statement, Health and Adult Social Care Commissioning Strategies, or the needs assessment of a recognised public health care body;*
- b. The property is suitable for such a use and would not result in an over intensive use of the site*
- c. That residential amenity is preserved in accordance with the relevant criteria in policy DMD 8 ‘General Standards for New Residential Development’;*
- d. It would not result in an excessive number or concentration of similar uses in a locality which would be detrimental to residential character or amenity;*
- e. The development is adaptable, well designed, of a high quality, accessible (internally and externally), meets the needs of the specific client groups it serves and their carers but is flexible in case these change. Developments must have regard ‘General Standards for new development’, other design considerations and local guidance. The Council will work with partners to ensure the facilities provide an adequate form of accommodation; and*
- f. The development is well located so that it is easily accessible to existing local community facilities, infrastructure and services, such as public transport, health services, retail centres, recreation and leisure opportunities.”*

- 10.6 The application states that the development will provide accommodation for those with both physical and mental health conditions such as dementia. At present there are 1435 people over the age of 65 in specialist accommodation in the Borough, and this is projected to rise to over 2,000 people by 2030. The Borough currently has 187 units of extra care accommodation. The Council through its 2019-2022 Market Position Statement sets out that there is a need for a further 90 units to meet demand over this period which the proposal would meet

- 10.7 The proposal has attracted funding from the Greater London Authority who are supporting the development. Furthermore, the planning statement indicates that when compared with alternative ways of meeting this need, the proposed development could save circa £500,000. The proposal would provide additional units when compared against the previous care home that was formerly on site as well as being more sustainable and energy efficient.

- 10.8 The facility would in detail require potential occupants to meet a number of criteria including age, require on site care, have mental or physical disability and can utilise the centre as an alternative to a residential care home. Individuals would be nominated to live at Reardon Court by the Council's multidisciplinary Sheltered Housing Panel. Enfield nominations would be prioritised to meet existing demand from within the Borough. Tenancies would then be managed by an appointed Housing Management organisation. The proposal would enable people to live independently in their own homes for longer, due to the benefit of on-site and around the clock care.
- 10.9 In terms of need, the Office for National Statistics projects that the total population is set to increase from 331,500 in 2015 to 376,800 in 2025 (increase of 45,300). The number of people over 65 years of age is forecast to increase by 10,100 (or 23%) in that period, from 42,400 in 2015 to 52,500 in 2025. This increase is slightly above the overall percentage increase of England (21%) and poses a significant local challenge in terms of developing services to meet future demand.
- 10.10 In line with population increases, the number of older people living in a residential care home (with or without nursing) is set to increase, from 1,435 people in 2019 to 1,780 in 2025. There are also currently over 500 older people receiving intensive packages of care in the community. The development of an extra-care facility at Reardon Court will relieve pressure in this area and contribute towards meeting this need.

Impact upon Metropolitan Open Land and Local Open Space

- 10.11 Policy 7.17 of the London Plan provides detailed guidance on this protected land and advises of the importance that MOL can provide numerous environmental and social benefits in relation to health and wellbeing and biodiversity. The policy also advises that guidance within the NPPF in relation to the green belt also applies to MOL. The supporting text of policy 7.17 advises 'Appropriate development should be limited to small scale structures to support outdoor open space uses and minimise any adverse impact on the openness of MOL'.
- 10.12 The proposed development would be visible from the metropolitan open land which is to the east of the application site and due regard has been given to the impact of the development upon this open space. However, officers are satisfied that the proposed design, its positioning and additional soft landscaping as well as the public benefit that the scheme provides to Enfield residents in delivering affordable specialist residential accommodation results in the scheme being acceptable.

Summary

- 10.13 In summary officers consider that the proposal has demonstrated sufficient need for the proposed extra care use and the number of units required to meet existing and future demand. The principle of development is therefore supported in this instance.

Quality of Accommodation

- 10.14 The London Plan (Policy 3.5) outlines the importance of delivering high standards of internal accommodation that meet the needs of occupants and that these must be of the highest standard both internally and externally. At a national level the DCLG space standards outlines minimum internal floorspace standards that all new residential dwellings must accord with. The Core Strategy states within policy CP4 states that *'High quality design and sustainability will be required for all new homes. New housing developments should take account of the design and construction policies and sustainable design and construction guidance set out in the London Plan'*. The supporting London Plan Housing SPG provides detailed guidance on furniture arrangements, internal daylight/sunlight and circulation, amongst other considerations.
- 10.15 It is noted that each of the units accord with the minimum floorspace standards of, 50sqm for a 1 bedroom 2 person unit and 61 sqm for a two bedroom three person unit. Furthermore, it is noted that each of the units would offer a good functional, internal layout that can accommodate practical furniture layouts in line with standard 25 of the London Plan Housing SPG. It is also considered positive that the proposal demonstrates that wheelchairs can adequately manoeuvre around each of the units.
- 10.16 With regard to the layout of the units, there are a number of flats that will be single aspect and therefore, have more limited access to natural daylight and sunlight. This is in part a function of the proposed use and preferred design of the development and although we would seek to minimise the number of single aspect units, on balance, this is considered acceptable. The potential for some minor revisions to further minimise the number is currently under discussion and Members will be updated at Planning Committee.
- 10.17 The Daylight and Sunlight Assessment prepared by Pick Everard assesses the amount of internal daylight a number of units will receive (these have been selected based on their varied orientation). The assessment concludes that of the 32 habitable rooms surveyed on the top floor of the building, the average daylight factor percentage is acceptable and would result in acceptable levels of internal daylight for the proposed units. Of the windows assessed in the report all windows accord with BRE standards and offer an acceptable amount of internal daylight/sunlight for future occupants.
- 10.18 In relation to amenity space standards officers have carefully considered the requirements of Policy DMD9 and standards 26 and 27 of the London Plan Housing SPG which provide detailed guidance that amenity space must be a minimum 1.5m deep and that a minimum of 5 sqm total amenity space should be provided for 1-2 person dwellings plus 1 additional sqm for each additional occupant. Each of the units would be provided with acceptable provisions of amenity space in the form of balconies. Furthermore, there is a large communal courtyard area at ground floor level, in addition to communal spaces in a ground floor courtyard, first floor, second floor and third floor sun terraces, and sedum roof gardens.
- 10.19 For the reasons stated above the proposed units are considered to offer an acceptable standard of accommodation.

Unit Mix

- 10.20 In relation to delivering a balanced mix of housing, Policy 3.8 of the London Plan seeks to provide a balanced mix of housing types that meet the needs of Londoners today. Policy DMD3 of the Development Management Document re-iterates a similar objective and seeks for Enfield to have a mix of homes that meet the needs of the Strategic Housing Market Assessment 2015.
- 10.21 The proposed mix comprises of the following dwelling types
- x 10 2 bed units, all of which are two bedroom, three person units
 - x81 1 bed units, all of which are one bedroom two person units
- 10.22 Whilst it is noted that there is a reasonably high provision of x1 bedroom units it is noted that the proposal is for a specialist form of accommodation in the form of extra care units, given the nature of the use which is a specialist form of accommodation for older persons it is not considered that family sized use would be required for a development of this nature. In addition, the consequence of older people downsizing from larger 3 and 4-bedroom family homes is that existing properties, which would not have otherwise become available, being released on the open market improving the supply of larger family sized accommodation. It is considered that sufficient need for the proposed mix has been demonstrated as outlined in the principle of development section of the report. In this instance the proposed unit mix sought is considered acceptable.

Affordable Housing

- 10.23 Having regard to policies DMD1 and CP3 of the Core Strategy, as the site is proposing 10 or more units (91 residential extra care units in this instance) it should be complying with borough wide target of achieving 40% affordable housing and a mix of tenures to reflect a borough wide target of 70% social rent and affordable rent and 30% Intermediate.
- 10.24 The proposal seeks to provide 100% affordable units. The application states that the units will all be provided for rent and the rent levels within the proposed development will not exceed 80% of Enfield's market rent level. Further details on this offer are currently awaited and members will be updated at Planning Committee. Subject to the full detail being acceptable officers will impose a condition to safeguard the affordable housing and tenure mix.

Design and Appearance

- 10.25 In terms of design, Core Strategy Policy 30 requires all developments to be high quality and design led, having special regard to their context.
- 10.26 Meanwhile Policy DMD 37 seeks to achieve high quality design and requires development to be suitable designed for its intended function that is appropriate to its context and surroundings. The policy also notes that development should capitalise on opportunities to improve an area and sets out urban design objectives relating to character, continuity and enclosure, quality of the public realm, ease of movement, legibility, adaptability and durability, and diversity.

10.27 London plan policy London Plan Policy 7.4 has regard to local character and states in its overall strategic aim that 'development should have regard to the form, function, and structure of an area, place or street and the scale, mass and orientation of surrounding buildings'. Policy 7.5 of the London plan outlines a similar aim and seeks for proposals in public places to be 'Secure...easy to understand and maintain, relate to local context, and incorporate the highest quality design'. Policy 7.6 of the London Plan sets out regional requirements in regard to architecture and states that development should 'incorporate the highest quality materials and design appropriate to its context'. The policy goes on to state that buildings and structures should 'comprise details and materials that complement...the local architectural character.' The design of the proposed development has been subject to consultation with the Greater London Authority (who have provided funding to enable the scheme to progress).

10.28 The current application has been through the formal pre-application process with the Council prior to the current submission . The pre-application response is summarised as follows:

- The proposal considered acceptable in principle subject to demonstration of need;
- Entrance to be modified to be more active and inviting
- Exemplary design will be required to offset the additional massing
- Additional visual interest to be providing to block elements
- Further demonstration needed to show no harm to neighbouring residential amenity
- Improvements to soft landscaping
- Full information on transportation impacts in a transport statement
- Full details of SuDS measures
- Demonstration of achieving an 'excellent' BREEAM rating
- Enable connection to a decentralised energy network

10.29 The proposal has also been presented to the Council's Place and Design Quality Panel. The summary of feedback from the Council's Place and Design Quality Panel is the following:

- The development should provide more visual interest to the inner courtyard and maximise levels of daylight and sunlight to this area
- The scheme should maximise use of glazing, natural light and opening windows along the corridors
- Provision of a communal area for guests would be welcomed
- The provision of a high proportion of single aspect north facing windows will need to be mitigated
- Improvements to the courtyard and entrance area are recommended
- The parking layout should be revised to be pushed to the perimeter

Legibility / Character

10.30 Officers are supportive of the re-development of the application site which is not designated as a local or statutory heritage asset. Notwithstanding this the previous two storey care home is not considered to be of any significant architectural merit. Officers therefore support the re-provision of a new building on site. It is expected that any re-development and the increased massing of the application site must be of an exemplary standard of design

that relates positively to the locality and surrounding context to adequately offset the additional built form.

Height, Bulk and Massing

- 10.31 The proposed development is a rectangular shaped building with two adjoining blocks. The primary height of the main building is 13.3m when measured from the natural ground level to the ridge, the three storey projecting element to the south has a height of 10.2, stepped in height to connect with the main building. The proposed new building is set in by 11m from the west elevation, the main entrance is set away 24m from the southern boundary, the north boundary is set away 9m from the building and the principal eastern elevation is set away 12m from the proposed building.
- 10.32 The Development Management Document also recognises that higher densities and a greater scale of development may be appropriate in some cases, especially where specialist forms of housing are proposed. It acknowledges that, in the case of bespoke housing for older people, higher densities may be appropriate, and flexibility should be applied to standards depending on the specific group (DMD 15).
- 10.33 In light of this the proposed scale and massing is considered acceptable in this instance. Whilst officers do not object to the scale, bulk and massing it is considered given the quantum of development sought, it would require an outstanding and exemplary design given the location of the application site to help offset the increase in built form which would be an increase in massing from the previous existing care home building. In response, the development provides some variation along the building heights which helps to reduce the visual prominence and bulk of the building as well as adding some visual interest to the proposal.

Appearance

- 10.34 The proposed building is proposed to be a predominantly brick built development with some render elements used within the development. The palette of brickwork is proposed to be yellow and green in colour. The proposed render elements used throughout the building are proposed to be a pistachio green shade. Several elements of the building also used timber shutters, brise soleil (architectural patterned features designed to reduce heating and improve cooling) with the entrance canopy utilising aluminium cladding, the proposed balconies are predominantly glass features.
- 10.35 Whilst officers acknowledge that the scheme has responded to the comments made at pre application stage, it is still felt that further improvements can be made, and this can be secured through condition. For instance, the proposed brickwork is monotonous and lacks variety in terms of texture and tone. The applicant has advised that they can provide full details of the brick palette, entrance, motif to the south elevation and brick bonding patterns through conditions which are recommended to be imposed as part of any approval
- 10.36 The proposed entrance has also been revised and makes some improvements by offering contrasting colour to the main entrance. The scheme provides some landscaping to the front comprising a mix of hard and soft materials, but further detail is being sought to enhance this approach to the development.

Fire Safety

- 10.37 The design and access statement sets out that a fire sprinkler specialist will be employed to design, supply and install, test and commission an installation for domestic/residential occupancies in accordance with BS 9251:2014. The system shall be classed as Category 3 as described in BS 9251 and shall provide coverage to all rooms within the flats and all communal spaces (to include the lounge, laundry, scooter stores and plant rooms) which is considered an acceptable approach in line with policy D11 of the emerging draft London Plan.

Impact on Neighbouring Residential Amenity

- 10.38 London Plan Policy 7.6 states that buildings should not cause unacceptable harm to residential amenity, including in terms of privacy and overshadowing. In addition, Policies DMD 6 and 8 ensure that residential developments do not prejudice the amenities enjoyed by the occupiers of neighbouring residential properties in terms of privacy, overlooking and general sense of encroachment and the principles contained in this policy have been applied in this case given the relationship to residential properties. Furthermore, Policy CP30 of the Local Plan seeks to ensure that new developments have appropriate regard to their surroundings, and that they improve the environment in terms of visual and residential amenity.
- 10.39 The site is located in an area comprising residential properties to the north on Carpenter Gardens, Cosgrave Close to the south, Barrowell Green recycling centre to the east and open space to the west.

Overlooking / Privacy

- 10.40 The proposed building will be of a considerably greater massing and bulk than the previously in use two storey care home, which is proposed to be a part three, part four storey development. Officers have therefore carefully considered the impacts of the increased built form and nature of the development upon neighbouring properties, particularly on Carpenter Gardens to the north of the application site.
- 10.41 Due regard has been given to policy DMD10 which provides detailed guidance on separation distances from buildings. Based on the aforementioned policy guidance a distance of 25m should be sought from neighbouring properties to the north and south.
- 10.42 To the north, the development provides a separation of between 24m – 27m and proposes planting as a buffer to mitigate any overlooking or loss of outlook. In the proposal seeks to provide planting along the northern boundary to buffer the development to properties on Carpenter Gardens. The proposed plans indicate that the separation distance between the northern elevation of the building and the rear elevation of the houses along Carpenter Gardens would be approximately 24m – 27m.
- 10.43 The proposed southern elevation and the proposed building line where the entrance sits is set away in excess of 24m, the projecting front element on the southern elevation is set some 11m away from properties to the south,

however given the positioning of this projecting element in relation to properties on Cosgrave Close, this element is considered acceptable. It is noted that this element proposes windows to be installed to serve corridors. Given the windows will be secondary and due to their positioning, it is not considered that it would result in any undue harm to the dwellings to the south of the site.

- 10.44 Given that there are no residential properties to the east or west officers do not consider that there would be any harm upon these sites that would arise from the proposed development.
- 10.45 In order to prevent any harmful privacy impacts upon residential properties to the north and south it is considered necessary to impose a condition requiring privacy screens be installed to safeguard neighbouring amenity and no additional windows within the north and south elevations of the building.

Noise

- 10.46 In relation to the proposed x91 extra care units in the development it is acknowledged that there would increase the intensity of the use when considered against the existing site context but not to the extent that would impact on neighbouring residents negatively. The residential development would be commensurate with the surrounding residential uses to the north and south of the site.
- 10.47 It is acknowledged that there would be noise impacts upon properties in the locality during the construction phases of the development, however these would be temporary in nature. To prevent and harmful noise and pollution impacts it is considered necessary to impose a condition requiring the submission and approval of a construction management plan to prevent any harmful impacts during this phase of the development.

Daylight/Sunlight Impacts

- 10.48 A daylight/sunlight report was submitted with the planning application and considers daylight and sunlight impacts associated with the proposed development. With regard to Annual Unobstructed Sunlight Availability the BRE Guide recommends that a window should have 25% of the available possible sunlight hours (APSH) for the whole year and 5% for winter. Where this is not possible the recommendation is that the sunlight available after development should be 80% of the target.
- 10.49 In relation to skylight availability the surveyed windows meet BRE requirements to retain 80% of the existing VSC (vertical sky component) which is a spot measure of the sky light reaching the mid-point of a window from an overcast sky. The VSC represents the amount of visible sky that can be seen from that reference point.
- 10.50 The submitted Daylight and Sunlight Assessment considers daylight and sunlight impacts associated with the proposed development. The assessment finds that of the six gardens surveyed to the north on Carpenter Gardens that they would all have at least 50% of the gardens receiving at least 2 hours sunlight in line with BRE guidance. The assessment considers the daylight impacts of five gardens north of the application site comprising of 19-27

Carpenter Gardens and the garden immediately to the south of the site and finds in summary that three gardens would receive 100% of existing daylight, one would receive 86%, one 85% and one 77% which all accord with BRE guidance.

Summary

- 10.51 Officers note that the proposal would result in an increase in built form when compared to the previous two storey care home but considers the proposed building has been carefully designed to offset unacceptable amenity impacts. In light of the above, the proposal is considered acceptable in terms of residential amenity impact subject to conditions as stated.

Transportation Impacts

- 10.52 DMD 45 relates to car parking, cycle provision and parking design. DMD 47 states that new development proposals will need to demonstrate that enough space for servicing, circulation and access to, from and through the site is provided. All developments must be fully accessible to pedestrians and cyclists and assist with general permeability within an area and the current factory does not provide this. London Plan policy 6.13, DMD policy 45 (Parking Standards and Layout) and 47 (Access, New Roads and Servicing) states that operational parking for maintenance, servicing and deliveries is required to enable a development to function.
- 10.53 The Public Transport Accessibility Level (PTAL) of the site is 1a which indicates that there is very poor access to frequent public transport services. The site is on Cosgrove Close, which is an adopted unclassified road leading off Barrowell Green.

Car Parking

- 10.54. The previous two storey building previously on site had a capacity for 62 occupants. This proposal will cater for 103 residents. In response to this increase the proposal has been revised since its initial submission to provide 25 spaces including 5 disabled space.
- 10.55. The application has considered Trip Rate Information Computer System (TRICS) data for nursing homes in Enfield to forecast that 450 two way trips of which 283 are anticipated to be by motor vehicles. The assessment finds that 26% of trips are expected to be made by sustainable modes of transport. The proposed net change when compared to the existing use as a worst case scenario is forecast to generate 301 two way trips of which 199 are expected to be by motor vehicles in a worst case scenario, it is projected that 5% of trips would take place during peak hours, resulting in a minimal impact upon the highway. Officers have paid due regard to the fact that the TRICS data is for nursing homes which has some differentiation from extra care accommodation.
- 10.56 To improve the entrance to the site and increase soft landscaping, amendments to the parking layout was suggested, however this is subject to further information on TRICS data.

Cycle Parking and Mobility Scooter Storage

- 10.57 Currently 46 cycle spaces are proposed. Subject to a suitably worded condition, the proposal would be able to deliver policy compliant cycle storage as there is sufficient space within the building and land around the building to accommodate policy compliant cycle parking.
- 10.58 The development also seeks to provide a mobility scooter store for 18 mobility scooters which would be commensurate with the proposal. Whilst the location of this to the front of the site is welcomed, it is considered necessary to have full details of the scooter storage area, including how it will be accessed, secured through a condition.

Servicing

- 10.59 The development will be serviced and have access for emergency vehicles and services such as Dial-a-Ride will be provided in clearly defined areas to the east of the application site which is considered to be an acceptable approach. The transport team have advised that there is no objection to servicing arrangements and access for larger vehicles subject to full tracking details being submitted through a condition.

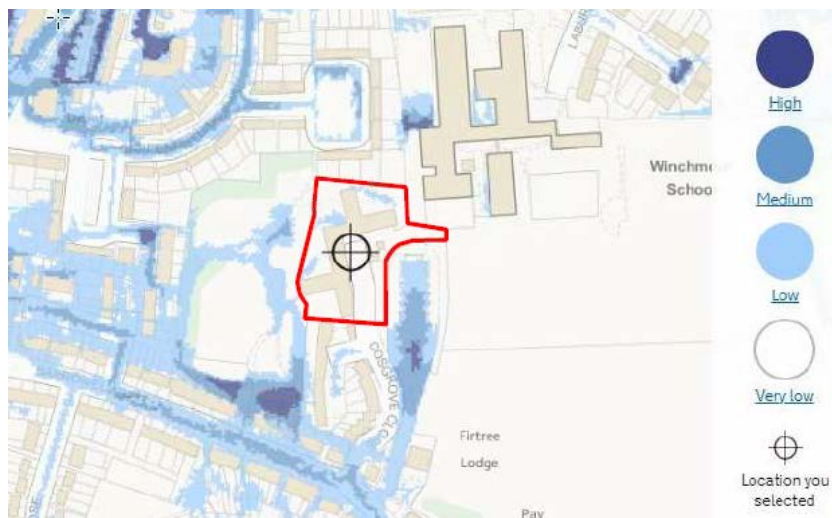
Refuse, Waste and Recycling

- 10.60 Policy 5.17 of the London Plan requires suitable waste and recycling storage facilities in all new developments whilst Core Policy 22 supports the provision of a sufficient, well-located waste management facility and requires all new developments to provide on-site waste treatment, storage and collection throughout the lifetime of the development. Meanwhile Policy DMD 57 notes that all new developments should make provision for waste storage, sorting and recycling, and adequate access for waste collection.
- 10.61 With regard to access and servicing provided by waste collection vehicles the proposed plans submitted demonstrate that adequate collection of waste can be undertaken on site. The proposed refuse and recycling is to be stored in a dedicated area on the eastern boundary of the site which is considered an acceptable approach and has not been objected to by the Council's transportation team.

Flood Risk

- 10.62 London Plan policies 5.12 and 5.13 require the consideration of the effects of development on flood risk and sustainable drainage respectively. Core Policy 28 ("Managing flood risk through development") confirms the Council's approach to flood risk, inclusive of the requirement for SuDS in all developments. Policy DMD59 ("Avoiding and reducing flood risk") confirms that new development must avoid and reduce the risk of flooding, and not increase the risks elsewhere and that planning permission will only be granted for proposals which have addressed all sources of flood risk and would not be subject to, or result in unacceptable levels of flood risk on site or increase the level of flood risk to third parties.
- 10.63 DMD61 ("Managing surface water") requires the submission of a drainage strategy that incorporates an appropriate SuDS scheme and appropriate greenfield runoff rates.

- 10.64 The proposal has been accompanied with a flood risk assessment prepared by Pick Everard. The report outlines that the application site is suitable for development given its location within flood zone 1, which represents land outside the predicted extent of extreme flooding from rivers or the sea, having less than 0.1% annual probability of flooding from these sources. The application site is not known to have flooded in the past. The Environment Agency Surface Water Flood Risk map (below) indicates a very low to low potential for fluvial flooding on the site. Officers have consulted the Environment Agency on the proposal given the scheme is a major development in flood zone 1 who have stated in response that subject to their recommended conditions there is no objection to the proposed development.



Sustainable Drainage

- 10.65 Policy DMD61 of the Development Management Document requires that all major developments must maximise the use of SuDS in accordance to the London Plan Drainage Hierarchy and the principles of a SuDS Management Train. Given that the proposal is a major development the proposal must incorporate several source control SuDS measures.
- 10.66 The proposal seeks to include a number of different SuDS measures such as green roofs, permeable paving, tree pits, filter drains, rain gardens and an attenuation tank within the car park. Discussions are taking place between the applicant and the SuDS team about an offsite SuDS wetland within the adjacent park which would enable the attenuation tank within the site to be of a smaller size. Members will be provided with further details of the SuDS strategy at Planning Committee.

Sustainability/Energy

- 10.67 The NPPF strongly emphasises a presumption in favour of sustainable development, stating that there are three dimensions to sustainable development: economic, social and environmental. Policy 5.2 of the London Plan (Minimising carbon dioxide emissions) states that development proposals should make the fullest contribution to minimising carbon dioxide emissions in accordance with the following energy hierarchy:

1. Be lean: use less energy
2. Be clean: supply energy efficiently
3. Be green: use renewable energy

- 10.68 Policy 5.2 also states that the Mayor will work with boroughs and developers to ensure that major developments meet targets for carbon dioxide emissions reduction in buildings. You are advised that the proposal should incorporate sustainability and renewable energy measures holistically into the development. An energy statement should accompany the proposal at application stage. This should demonstrate commitment to renewable and sustainable energy.
- 10.69 In addition to the above of particular relevance are policies DMD51 and DMD52 which advises that 'All major developments should connect to or contribute towards existing or planned decentralised energy networks supplied by low or zero carbon energy'. The policy goes on to advise that when this is not possible that combined heat and power (CHP) or combined cooling heat and power (CCHP) on-site CCHP or CHP will be expected where the heating demand makes it feasible. The policy goes on to further advise that if on site CCHP and CHP are not possible the policy goes on to advise that 'Developments will be required to be designed to enable its connection to a decentralised energy network in the future or provide a contribution for the expansion of decentralised energy networks, or other carbon reduction measures within the borough'.
- 10.70 In support of the application an Energy and Sustainability appraisal has been submitted which has been produced by Pick Everard. The assessment considers a number of options, including utilising connection to future heat networks provided by Energetik, the Council's energy supplier. The assessment finds that the development will deliver a target emissions rate of 11 kg of CO₂ per sqm, with a building emissions rate of 6.3 kg of CO₂ per sqm, resulting in a 42.73% improvement over part L2A of the 2013 Building Regulations. The assessment appraises a number of options but finds in conclusion that the most viable option for incorporating renewable energy into the development is to utilise solar PV panels and use of thermally efficient building fabric, air source heat pumps and energy-efficient fixed building services.
- 10.71 In terms of the DEN, Reardon Court will be 1.9 miles from the Oakwood Heat Network and 2.4 miles from the Meridian Water Heat Network. Energetik have confirmed that connection to Reardon Court would be feasible when the network has been expanded. If this is after Reardon Court is completed the facility could be run on gas boilers and then connect the building to the network by installing heat exchangers and pipework to the nearest road during the construction phase. The sustainability assessment concludes that approaching energy supply in this way would not be a viable proposal for the development as three heat sources for the building would be required (heat pumps, back-up boilers and district heating) all connected to a single system and all potentially operating at different primary flow and return temperatures. This would present a highly complex arrangement of system controls and maintenance requirements. It is not therefore currently proposed to make provision for a future connection.

Biodiversity/Trees/Landscaping

- 10.72 Through Policy CP36 of the Core Strategy the Council commits to 'protect, enhance, restore or add to biodiversity interests within the Borough'. This is reaffirmed in the DMD policies 78 to 81.
- 10.73 The National Planning Policy Framework (NPPF) recognises that the planning system should aim to conserve and enhance the natural and local environment by minimising impacts on biodiversity and providing net gains in biodiversity where possible, contributing to the Government's commitment to halt the overall decline in biodiversity, including the establishing of coherent ecological networks that are more resilient to current and future pressures. Paragraph 175 of the NPPF also states that opportunities to incorporate biodiversity in and around developments should therefore be encouraged.
- 10.74 An ecological impact assessment has been undertaken and concludes that the site is of low ecological value. A condition would be attached to any permission requiring details of proposed ecological enhancements across the site.
- 10.75 An Arboricultural Impact Assessment has been submitted during the application process and concludes that the proposal will necessitate the removal of one moderate quality category B tree at the entrance to the site; however, the removal will also provide the entrance to be landscaped and new tree planting will improve the overall visual amenity. It is noted that the tree is not protected via a tree preservation order or being located within a conservation area. All off site trees are unaffected by the proposals and due to their location behind secure fences will be suitably protected without the need for additional tree protection.
- 10.76 As shown below, the proposed landscaping arrangements comprise of trees planted in front of the entrance area, border planting around the eastern boundary of the car park area. Garden areas along the western and northern boundaries with private and communal patio areas along the west. Seven trees are proposed along the northern boundary with a communal pavilion in the north western corner. Raised patio beds and allotment plots are proposed in the east. The central courtyard area seeks to provide 10 trees, communal tables and chairs and a Petanque court (ball game court). The overall landscaping proposals are welcomed by officers and would offer a marked improvement when compared to the existing arrangements on site. Furthermore, the Council's tree officer has raised no objections to the landscape plan though has requested further details of how landscaping will be managed, which is recommended to be secured through a condition.



Secure by Design

10.77 Following consultation with the Metropolitan Police Service (MPS) Designing out Crime team, the project has the potential to meet the criteria for Secured by Design Accreditation. The MPS have recommended a condition that the development shall achieve a certificate of compliance with the secured by design credentials. There is a need to ensure that the scheme is safe, secure, accessible and sustainable in line with adopted planning policies, however there is no explicit policy requirement that requires schemes to achieve a Certificate of Compliance and therefore a condition will not be attached. Officers note that the scheme may not be able to comply with all criteria for Secured by Design and as such other conditions will be attached requiring details of external lighting and enclosure. We will attach an informative to advise the applicant to continue to engage and seek advice from you to

ensure that a safe, secure and sustainable environment that is free of the fear of crime is created.

Contaminated Land

- 10.78 The applicant has submitted a geo-environmental study. The Environment Agency and Environmental Health officer have been consulted on the application and raise no objection to the scheme subject to further information being submitted through conditions.

11. CIL

- 11.1 This would be calculated in accordance with the Mayor's adopted Community Infrastructure Levy Charging Schedule 2012 and Enfield's adopted Community Infrastructure Levy Charging Schedule 2016.

11.2 Enfield CIL

Residential - $9147 \times 120 \times (325/274) = \text{£}1,295,215.20$

Hairdressers - $52 \times 120 \times (325/274) = \text{£}7401.45$

11.3 Mayor of London CIL

Residential - $9147 \times 60 \times (323/323) = \text{£}548,820$

Hairdressers - $52 \times 60 \times (323/323) = \text{£}3120$

12. Conclusion

- 12.1 The proposed redevelopment of the application site is welcomed in principle, and the application has been considered with regard to the National Planning Policy Framework (NPPF) and its presumption in favour of sustainable development.
- 12.2 The proposed redevelopment is considered to make efficient use of a brownfield site to provide specialist housing stock in Enfield for which there is an identified need.
- 12.3 The proposal is considered acceptable in terms of land use, when considered against the surrounding context and the previous lawful use on site. The proposal is also considered acceptable in terms of design, neighbour amenity impact, transport impact.
- 12.4 This report shows that the benefits of the proposed development have been given due consideration and are sufficient enough to outweigh any perceived harm. In this respect the benefits are summarised again as follows:
- The proposed development would be consistent with the objectives of national, regional and local planning policy in terms of supporting and securing sustainable growth and delivery of specialist extra care accommodation within the borough;
 - The development would meet an identified need for extra care units in the borough and enable older and vulnerable people to live independently in their own homes for longer due to on-site care.
 - The development would provide affordable housing

- The development of the site would provide jobs on site within the borough in relation to the proposed re-development of the site;
- The development would improve the local environment
- The existing site which is little architectural merit would be improved through the development of the application site.
- In comparison to the existing building on site the proposed new building would be significantly more sustainable and energy efficient;

12.5 Having regard also to the mitigation secured by the recommended conditions, it is considered the proposed development is acceptable when assessed against the suite of relevant planning policies and that planning permission should be granted subject to conditions.

Aluminium Panel or similar for Entrance Canopy



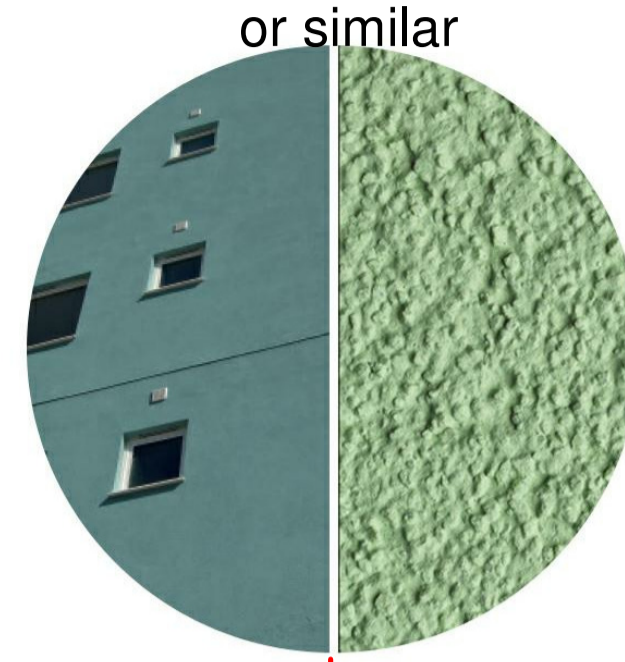
Contrasol Timber Shutter or similar



Yellow/Green Brick



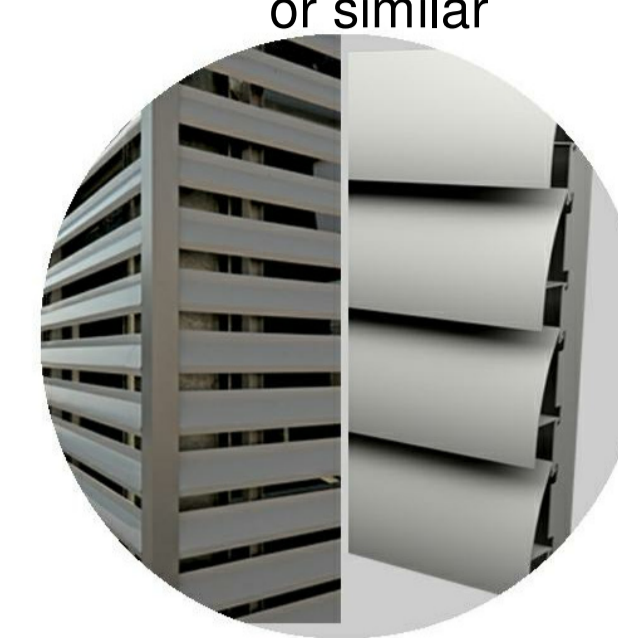
Alumasc K-rend System in pistachio Green finish or similar



Contrasol Brise Soleil System or Similar



65mm SLA Screening or ventilation louvre with hidden mullion and Aluminium blades or similar



Alumasc Blackdown Sedum Green roof or Similar



Revision	Date	Drn	CHK
P01 Issued for Planning	04.11.19	CMC	AKH

This document references the following files:-

Reference Name	Status	Revision
LON014-RD-ZZ-M3-A-0001	S1	P01

Client
London Borough of Enfield

Project
Reardon Court Extra Care Housing Scheme

Drawing Title
Material Palette

Planning Application
 Suitability Status

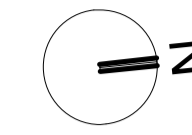
Job No.	Scale	Size	Rev
190412	Not to Scale	@ A1	P01

Drawing Number
LON014-PEV-RD-ZZ-DR-A-9500

Client Code	Originator	Zone	Level	Type	Role	Number



- Circulation
- Common Areas
- Type A-1 Bedroom
- Type B-2 Bedroom



First Floor Plan
 1 : 200

Revision	Date	Drn	Chk
P01 Issued for Planning	04.11.19	CMC	AKH

This document references the following files:-

Reference Name	Status	Revision
LON014-RD-ZZ-M3-A-0001	S1	P01

Client
London Borough of Enfield

Project
Reardon Court Extra Care Housing Scheme

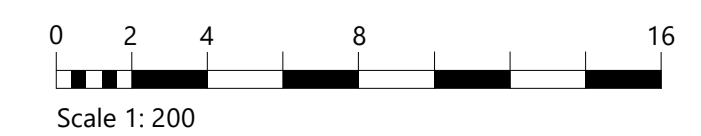
Drawing Title
Proposed First Floor Plan

Planning Application

Job No.	Scale	Size	Rev
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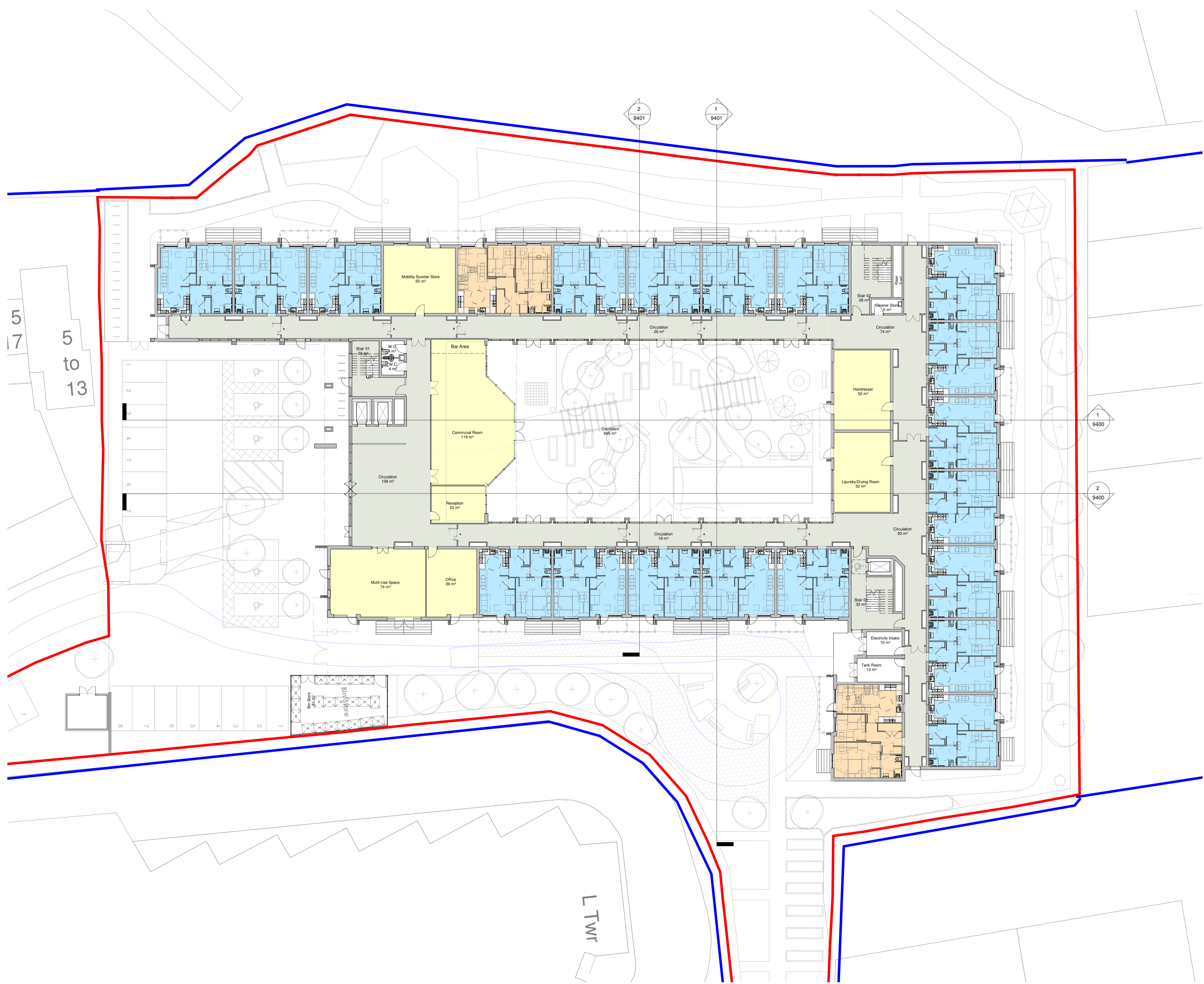
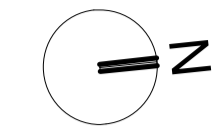
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Client Code	Originator	Zone	Level	Type	Role	Number



— Site Boundary Line
 — Council Owned Land

■ Circulation
 ■ Common Areas
 ■ Type A-1 Bedroom
 ■ Type B-2 Bedroom



Page 61

Revision	Date	Drn	Chk
P01 - Issued for Planning	04.11.19	CMC	AKH

This document references the following files:-
 Reference Name: LON014-RD-ZZ-M3-A-0001 Status: S1 Revision: P01

Client: **London Borough of Enfield**
 Project: **Reardon Court Extra Care Housing Scheme**
 Drawing Title: **Proposed Ground Floor Plan**
 Application: **Planning Application**
 Suitability Status:

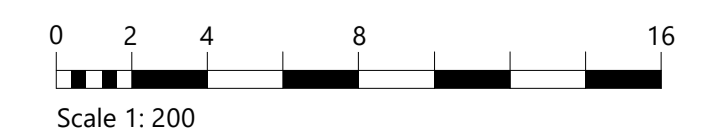
Job No.	Scale	Size	Rev
190412	As indicated	@ A1	P01

Drawing Number: **LON014 - PEV - RD - 00 - DR - A - 9200**



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Ground Floor Plan
 1 : 200





Proposed North Elevation
 1 : 200



Proposed East Elevation
 1 : 200

Revision	Date	Drn	CHK
P01 - Issued for Planning	04.11.19	CMC	AKH

This document references the following files:-

Reference Name	Status	Revision
LON014-RD-ZZ-M3-A-0001	S1	P01

Client
London Borough of Enfield

Project
Reardon Court Extra Care Housing Scheme

Drawing Title
**Proposed East and North Elevations
 Proposed External Elevations
 Planning Application**

Suitability Status

Job No.	Scale	Size	Rev
190412	1 : 200	@ A1	P01

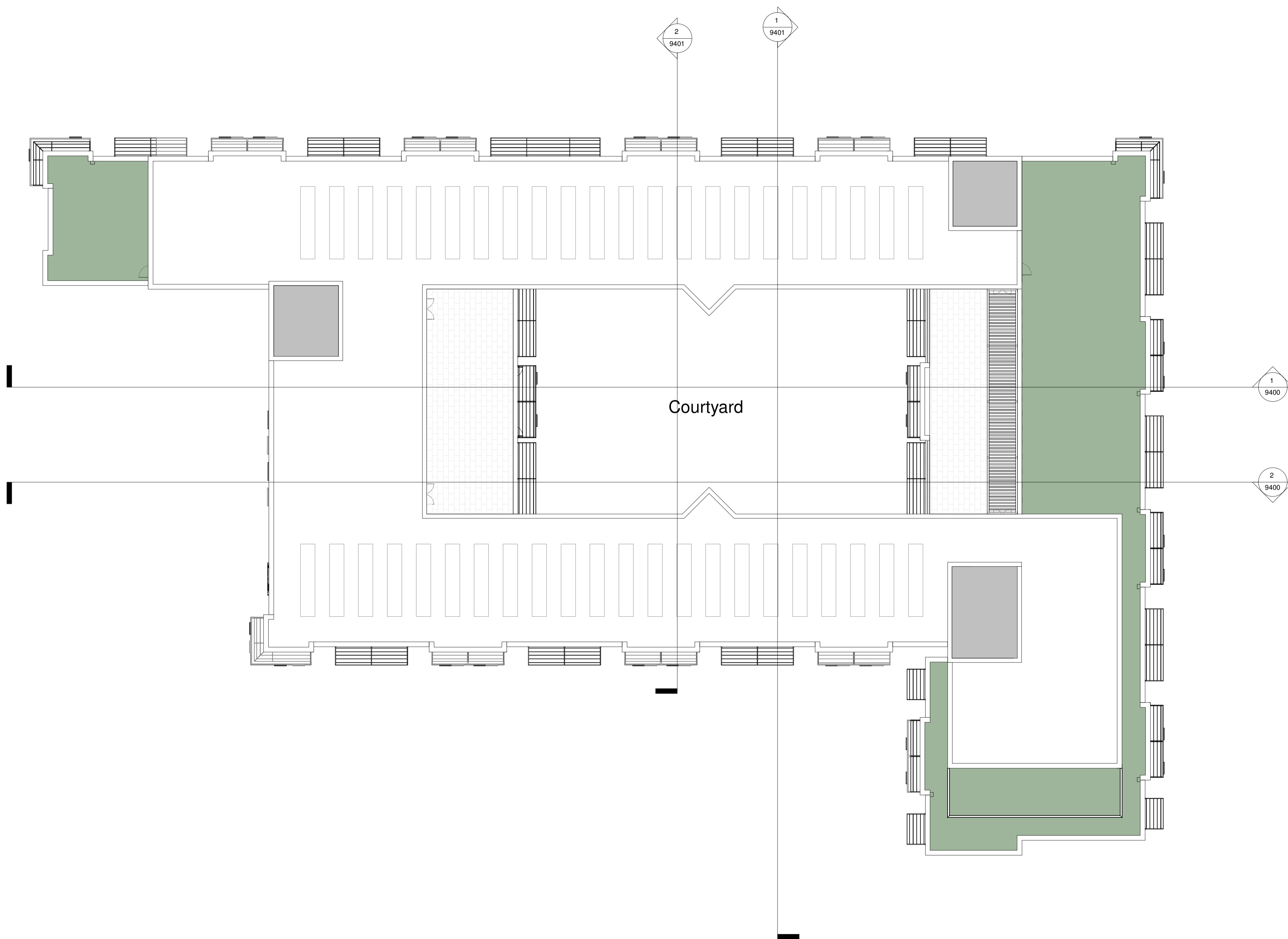
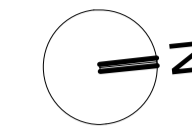
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Client Code	Originator	Zone	Level	Type	Role	Number



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Roof Plan
 1 : 200

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Reference Name	Status	Revision
LON014-RD-ZZ-M3-A-0001	S1	P01

Client
London Borough of Enfield

Project
Reardon Court Extra Care Housing Scheme

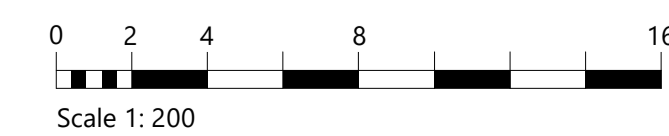
Drawing Title
Proposed Roof Plan

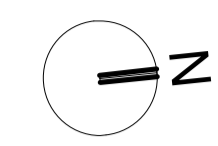
Planning Application
 Suitability Status

Job No.	Scale	Size	Rev
190412	1 : 200	@ A1	P01

Drawing Number
LON014 - PEV - RD - 04 - DR - A - 9204

Client Code	Originator	Zone	Level	Type	Role	Number





- Circulation
- Common Areas
- Type A-1 Bedroom
- Type B-2 Bedroom



Second Floor Plan

1 : 200

Revision	Date	Drn	Chk
P01 Issued for Planning	04.11.19	CMC	AKH

This document references the following files:-

Reference Name	Status	Revision
LON014-RD-ZZ-M3-A-0001	S1	P01

Client
London Borough of Enfield

Project
Reardon Court Extra Care Housing Scheme

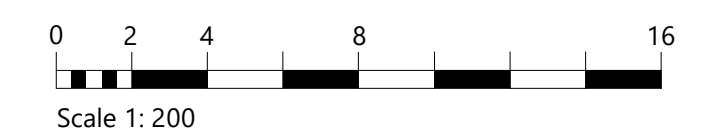
Drawing Title
Proposed Second Floor Plan

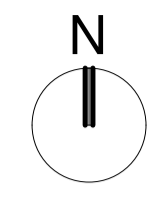
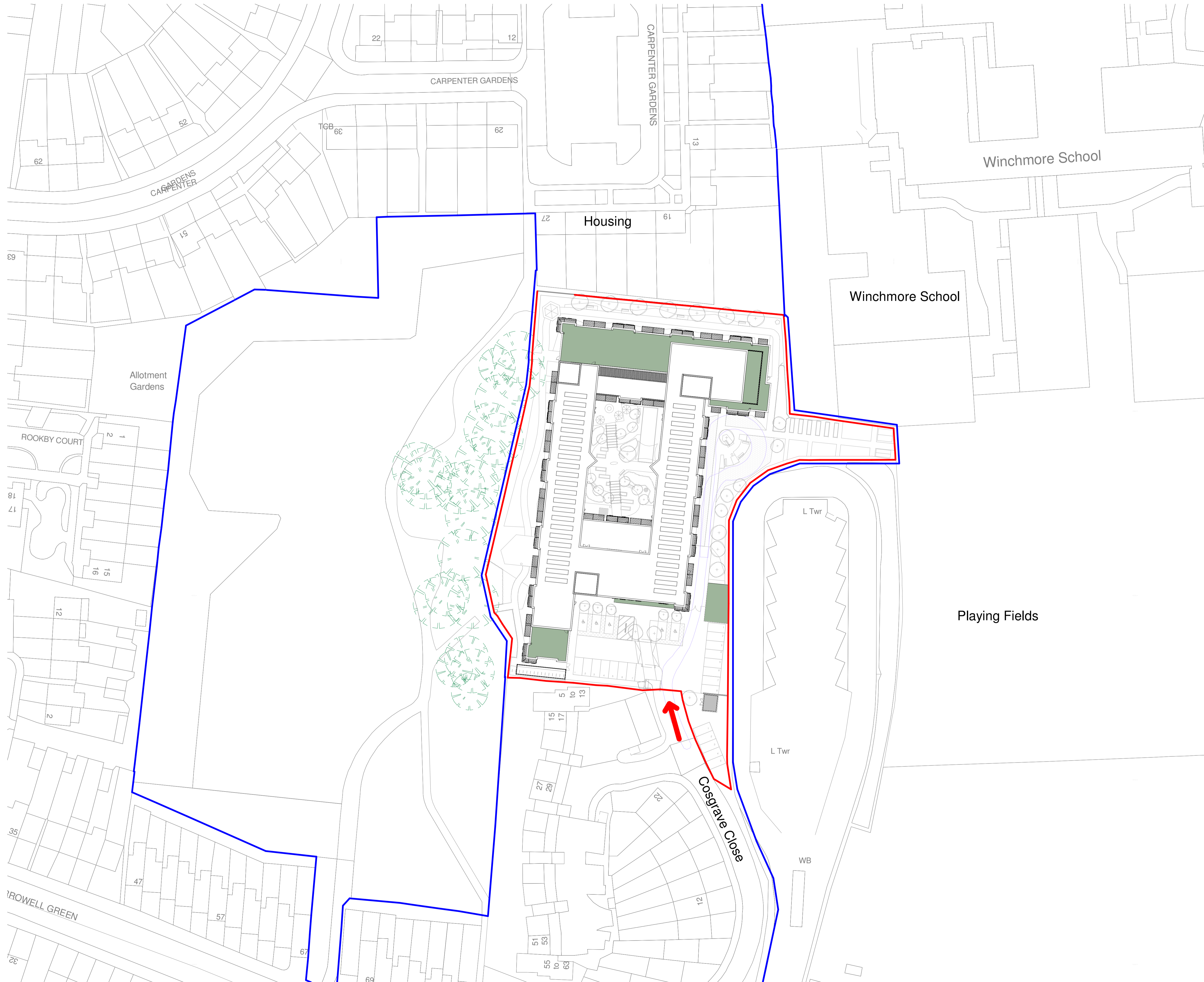
Planning Application
 Suitability Status

Job No.	Scale	Size	Rev
190412	1 : 200	@ A1	P01

Drawing Number
LON014 - PEV - RD - 02 - DR - A - 9202

Client Code	Originator	Zone	Level	Type	Role	Number



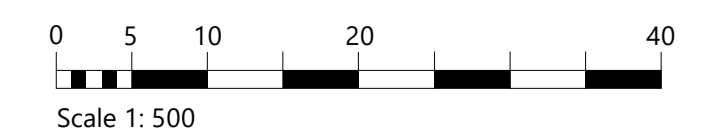


NO DIMENSIONS TO BE SCALED FROM THIS DRAWING
 CDM - RESIDUAL HAZARDS The following are considered to be significant risks relevant to this drawing, which could not be fully mitigated or removed through design:

- Site Boundary Line
- Council Owned Land
- Existing Buildings to be Demolish
- ➔ Site Access

Proposed Site Plan

1 : 500



Revision	Issued for Planning	04.11.19	CMC	AKH
Reference Name	This document references the following files:-			
LON014-RD-ZZ-M3-A-0001	Status	S1	Revision	P01
Client	London Borough of Enfield			
Project	Reardon Court Extra Care Housing Scheme			
Drawing Title	Proposed Site Plan			
Planning Application	Suitability Status			
Job No.	Scale	Size	Rev	
190412	As indicated	@ A1	P01	
Drawing Number	LON014 - PEV - RD - XX - DR - A - 9002			
Client Code	Originator	Zone	Level	Type
				Role
				Number



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Proposed South Elevation

1 : 200



Proposed West Elevation

1 : 200

Revision	Date	Drn	CHK
P01	04.11.19	CMC	AKH

This document references the following files:-

Reference Name	Status	Revision
LON014-RD-ZZ-M3-A-0001	S1	P01

Client
London Borough of Enfield

Project
Reardon Court Extra Care Housing Scheme

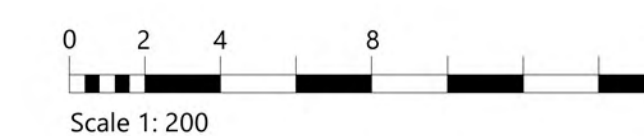
Drawing Title
**Proposed West and South Elevations
 Proposed External Elevations
 Planning Application**

Suitability Status

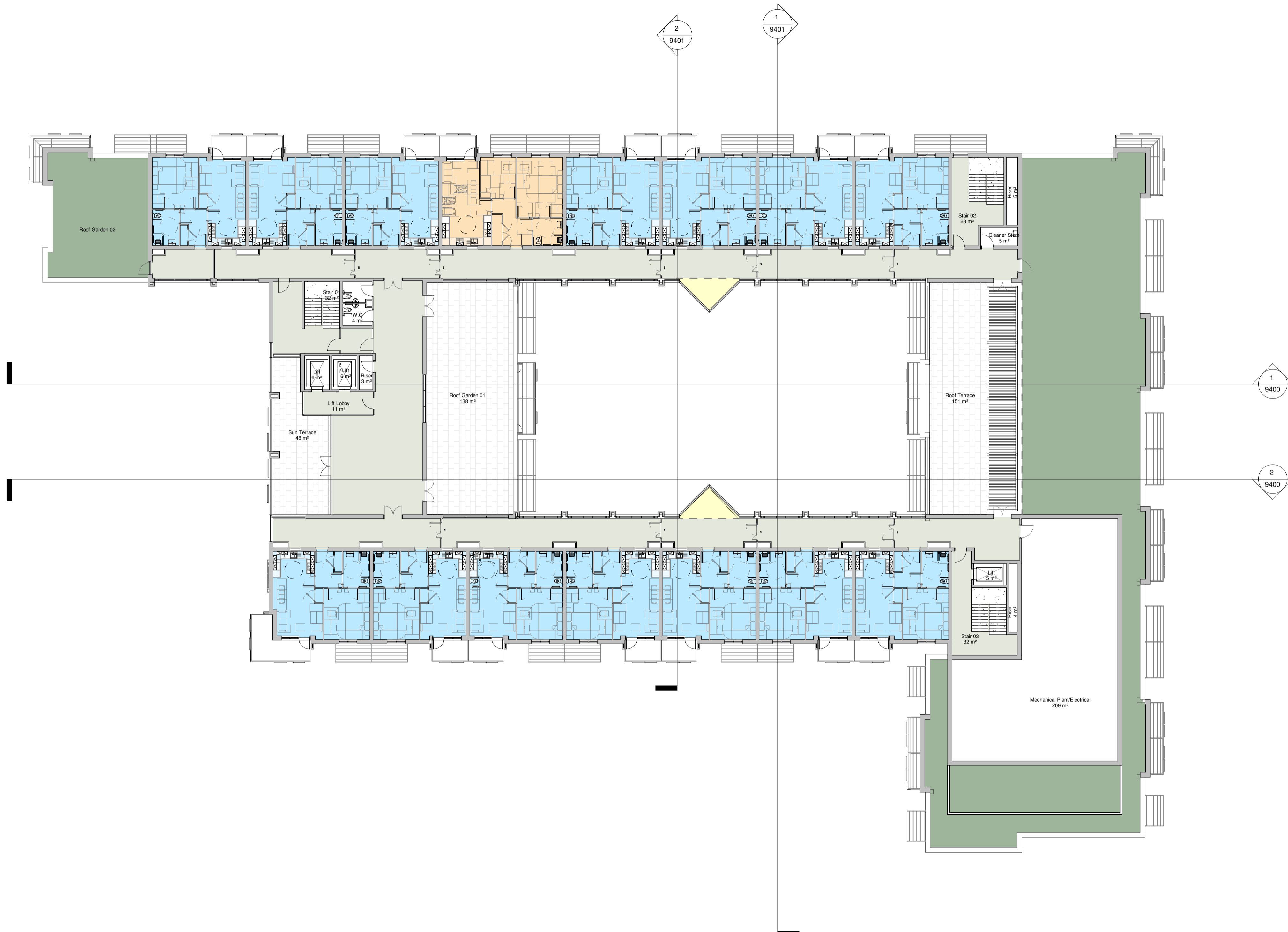
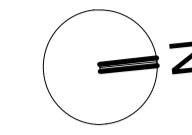
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190412	1 : 200	@ A1	P01

Drawing Number
LON014 - PEV - RD - ZZ - DR - A - 9300

Client Code	Originator	Zone	Level	Type	Role	Number



- Circulation
- Common Areas
- Type A-1 Bedroom
- Type B-2 Bedroom



Third Floor Plan
 1 : 200

Revision	Date	Drn	CHK
P01 Issued for Planning	04.11.19	CMC	AKH

This document references the following files:-

Reference Name	Status	Revision
LON014-RD-ZZ-M3-A-0001	S1	P01

Client
London Borough of Enfield

Project
Reardon Court Extra Care Housing Scheme

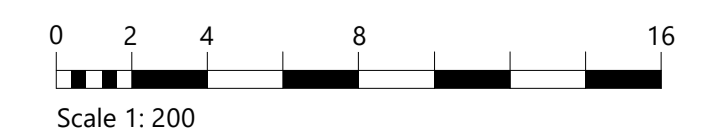
Drawing Title
Proposed Third Floor Plan

Planning Application
 Suitability Status

Job No.	Scale	Size	Rev
190412	1 : 200	@ A1	P01

Drawing Number
LON014 - PEV - RD - 03 - DR - A - 9203

Client Code	Originator	Zone	Level	Type	Role	Number





Section_AA
1 : 200



Section_BB
1 : 200

Revision	Date	Drn	CHK
P01 Issued for Planning	04.11.19	CMC	AKH

This document references the following files:-
 Reference Name: LON014-RD-ZZ-M3-A-0001
 Status: S1
 Revision: P01

Client
London Borough of Enfield

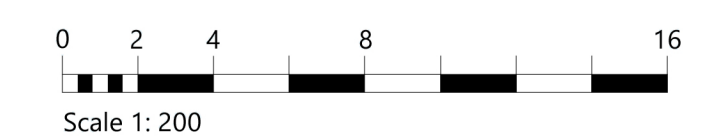
Project
Reardon Court Extra Care Housing Scheme

Drawing Title
Proposed Sections
Sheet 1 of 2
Planning Application
 Suitability Status

Job No.	Scale	Size	Rev
190412	1 : 200	@ A1	P01

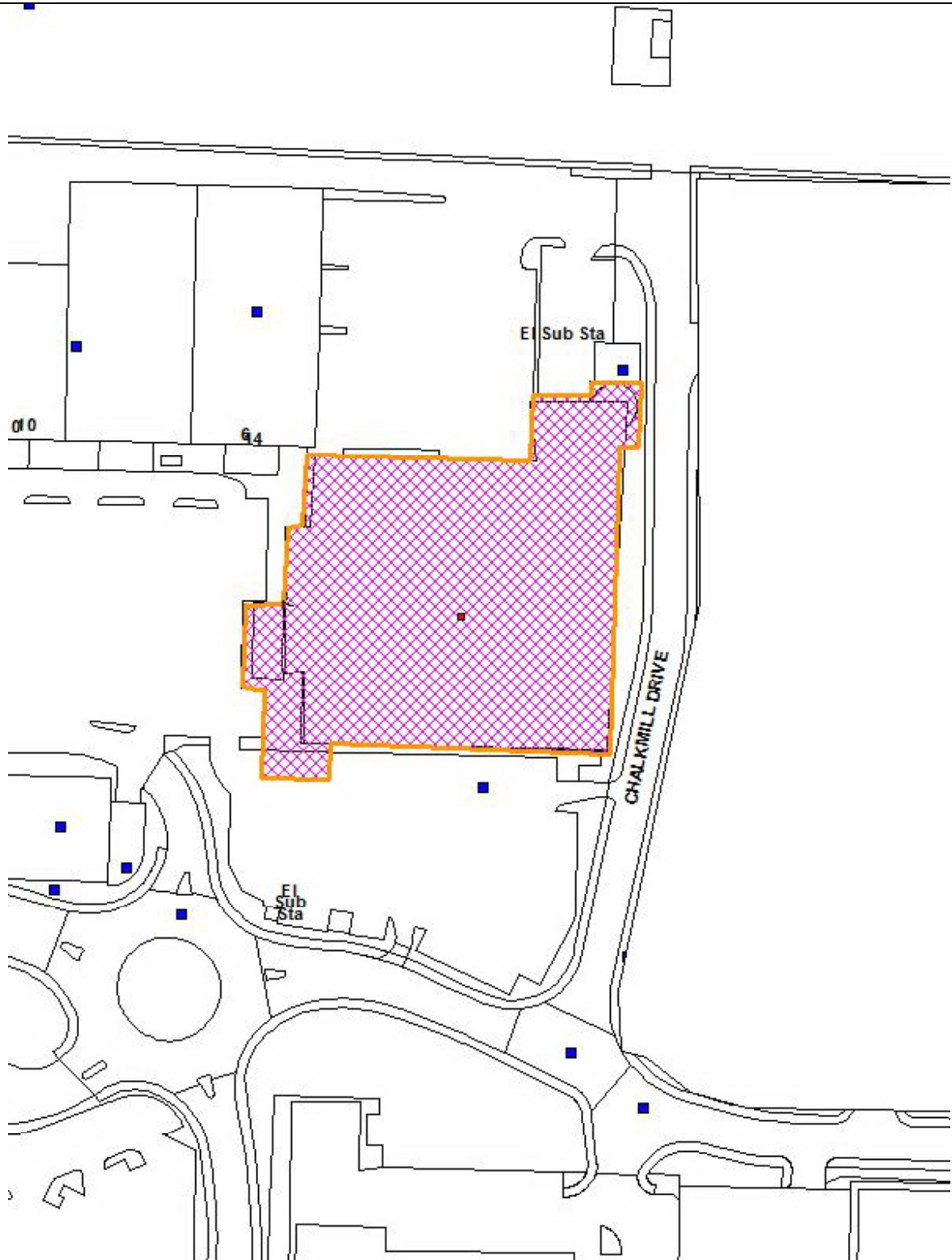
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Client Code	Originator	Zone	Level	Type	Role	Number



LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE		Date: 4 February 2020
Report of: Head of Planning	Contact Officer: Andy Higham David Gittens Gideon Whittingham Tel No: 020 8132 1623	Ward: Southbury
Application Number: 19/02921/FUL		Category: Major
LOCATION: Enfield Retail Park 16 Crown Road EN1 3RW		
PROPOSAL: Subdivision of existing A1 retail unit (previously Toys R Us) into 2No. A1 retail units involving internal and external alterations including new shopfronts together with variation of condition 24 of approval ref: TP/91/0110 to allow opening hours between 07:00 and 23:00 hours from Monday to Saturday and Bank Holidays, and between 10:00 and 18:00 hours on Sundays.		
Applicant Name & Address: Mr Keiron O'Mahoney FI Real Estate Management Ltd Canal Mill Botany Brow Chorley PR6 9AF Lancashire		Agent Name & Address: Mr A Corrin Lambert Smith Hampton 3 Hardman Street Manchester M3 3HF
RECOMMENDATION: That the Head of Development Management / the Planning Decisions Manager be authorised to GRANT planning permission subject to conditions.		

Ref: 19/02921/FUL **LOCATION: Enfield Retail Park, 16 Crown Road, EN1 3RW,**



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Scale 1:1250

North



1. Note for Members

- 1.1 Although a planning application for this type of development would normally be determined under delegated authority, the application has been reported to the Planning Committee for determination by reason of its location within an area of strategic importance.

2. Recommendation / Conditions

- 2.1 That in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992, planning permission be deemed to be GRANTED subject to the following conditions:

1. TIME LIMIT
2. DEVELOPMENT IN ACCORDANCE WITH PLANS
3. MATERIALS TO MATCH THOSE SPECIFIED
4. NO FURTHER SUB-DIVISION
5. HOURS OF OPERATION

- 2.2 It is also requested that authority to finalise the wording of conditions under the above headings, is given to officers to ensure they reflect any issues raised by Planning Committee and / or any reported updates to the meeting.

3. Executive Summary

3.1 The application seeks approval for the use of the building to host 2 (two) retailers (Use Class A1).

3.2 The site previously hosted Toys 'R' Us and a secondary occupier known as Babies 'R' Us. The site has remained vacant since the company became bankrupt in 2018.

3.3 Following planning consent to develop the retail park site in 1992, attached conditions restricted the floorspace size of each unit within the parent building, opening hours and the range of goods available for sale.

3.4 This application is submitted as a result of the restricted consent and seeks to:

- Sub-divide the building into two (2) units falling within A1 use of 2,115 square metres (Unit A) and 1,589 square metres (Unit B).
- Remove the existing non trade (ancillary office and administrative functions) mezzanine floor (totalling 992 square metres).
- Amend elevations including shop frontage

3.5 The reasons for recommending approval of this application are:

- The applicant has demonstrated to the Council's satisfaction that a sequential test has been applied which shows no suitable sites available within the town centres or accessible edges. Furthermore the development would not have a negative impact upon the viability and vitality of Enfield's centres or planned investment in centres.
- The proposed alterations are considered appropriate and would not result in detrimental harm to the character and appearance of the building, the group of which it is a part, and the locality.
- The nature and proximity of this proposal with residential occupiers would not result in a detrimental impact in terms of noise, odours or air quality, outlook or light.
- The development would be appropriate and in accordance with relevant National and Regional Policy, Core Strategy and Development policies and for the reasons noted above.

4. Site & Surroundings

4.1 The site, itself located within the Enfield Retail Park, is bounded to the north by British Car Auctions (No.640 Great Cambridge Road), to the east by Chalkmill Drive, to the south by Crown Road and to the west by the commercial units of 1 - 14 (evens) of the Enfield Retail Park.

- 4.2 The site is located outside of the Strategic Industrial Location (SIL) as defined by the London Plan, the Local Plan Core Strategy, the Development Management Document and the North East Enfield Area Action Plan, which is located beyond Chalkmill Drive to the east and the north.
- 4.3 The site is in close proximity to the A10 (TfL maintained) trunk route to the west of the site and the Southbury Road Principal Route to the south. The Liverpool Street / Hertford East / Cambridge line lays to the east of the SIL. The site has a poor / moderate PTAL of 2 / 3.
- 4.4 The site is not within a Conservation Area nor is it a Listed Building.
- 4.5 The submitted site location plan denotes the planning application boundary to include the parent building and 6 car parking spaces only. The remainder of the car parking area afforded for the Enfield retail Park falls outside of this boundary.

5. Proposal

- 5.1 The following works are proposed:

Internal

- Subdivision of existing building (totalling 5047.8 square metres) falling within A1 Use, to form two (2) units falling with A1 use of 2,115 square metres (Unit A) and 1,589 square metres (Unit B).
- The removal of the existing non trade (ancillary office and administrative functions) mezzanine floor (totalling 992 square metres).

West Facing elevation (Front)

- Remove existing canopy, signage and associated single shopfront, to be replaced with two (2) grey aluminium powder coated shopfronts with associated canopy.

East Facing elevation (Rear)

- Form two (2) new door openings with associated escape stair complete with balustrade and knee rail
- Remove existing sprinkler tank

North Facing elevation (Facing Chalkmill Drive)

- Existing glazed shop front, with white aluminium powder coated frames to be replaced with grey aluminium powder coated frames
- Amend two (2) existing fire exits

South Facing elevation (Facing Crown Road)

- Remove one (1) of three (3) existing fire exits and amend retained doors

Operation

- Opening hours between 07:00 and 23:00 hours Monday to Saturday and Bank Holidays, and between 10:00 and 18:00 hours on Sundays.

- Site access and servicing arrangements remain unaltered.

6. Consultation

6.1 Statutory and Non-Statutory Consultees

London Fire Brigade: Any comment received will be reported at the meeting.

Thames Water: Any comment received will be reported at the meeting.

Metropolitan Police Service: No objection

Transport: Objection raised. See section Transport

Public:

6.2 Consultation letters were sent to 17 occupiers of Crown Road and Chalkmill Drive.

6.3 To date no objections have been received.

7. Relevant Planning History

*Toys R Us, Unit 7, Enfield Retail Park, Crown Road**

7.1 18/03289/VAR - Variation of condition 1 of approval granted under reference TP/91/0110/12 to allow sub-division of the unit into 3 units. Application withdrawn 23.10.2018.

7.2 P14-00161LDC - To extend the type of goods allowed for sale to include sports clothing footwear and equipment, children's home furnishings, children's clothing and accessories, educational items including musical instruments, stationery and books (ancillary to the sale of children's toys and other products). Application withdrawn 17.02.2014 (Permission not required – see LDC/11/0044)

7.3 LDC/11/0044 - The proposed use of Units, 2, 3, 6 & 7 for unrestricted Class A1 sales subject to the sale of books, newspapers and magazines being limited to publications ancillary to the type of goods sold from the units. Granted 19.04.2011.

- The proposed use of Units 2, 3, 6 & 7 for unrestricted Class A1 sales subject to the sale of books, newspapers and magazines being limited to publications ancillary to the type of goods sold from the units is considered lawful by virtue of the permission TP/91/0110 not excluding the operation of the Use Classes Order 1987 as amended.

7.4 TP/91/0110/12 - Variation of conditions 28 and 29 of TP/91/0110 to permit the creation of a new retail unit within existing premises for sale of pharmaceuticals and ancillary products, related to a chemist store including health and dietary foods, baby and young children's products and photographic processing/sale of associated products. Granted With Conditions 29.10.2009

- Condition 28

The proposed new retail unit to be created within Unit 7(Toys 'R' Us, 16 Crown Road) by its internal subdivision shall be restricted to an area of 948m² in accordance with a plan to be submitted to and approved in writing by the Local Planning Authority specifically defining the area of the new retail unit prior to its use.

Reason: In order to provide satisfactory details showing the location of the new retail unit to be created within the existing Unit 7 (Toys 'R' Us, 16 Crown Road) and in accordance with the details of the original planning application for the subdivision limiting the size of the unit to 948m², for which the current application has sought to provide a longer period for implementation.

- Condition 29

The range of goods which may be sold within the newly created retail unit (948m²) shall be limited to the retail sale of pharmaceuticals, health products and beauty products, baby and young children products, photographic products and lunchtime, health and dietary foods related to a chemists store as well as including the extended range of goods allowed under TP/92/1055 unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that the retail sales from the new retail unit do not prejudice the viability and vitality of the Town Centre, in accordance with the list of goods to be sold as set out in the applicant's supporting information and in accordance with the details of the original planning application for which the current application has sought to provide a longer period for implementation.

7.5 TP/91/0110/11 - Variation of Conditions 28 and 29 of TP/91/0110 to permit the creation of a new retail unit within existing premises, for the sale of pharmaceuticals and ancillary products, related to a chemists store including health and dietary foods, baby and young children's products, and photographic processing/sale of associated products. (Renewal of unexpired approval under ref. TP/91/0110/7). Granted With Conditions 04.11.2004

- Condition 28

The proposed new retail unit to be created within Unit 7(Toys 'R' Us, 16 Crown Road) by its internal subdivision shall be restricted to an area of 948m² in accordance with a plan to be submitted to and approved in writing by the Local Planning Authority specifically defining the area of the new retail unit prior to its use.

Reason: In order to provide satisfactory details showing the location of the new retail unit to be created within the existing Unit 7 (Toys 'R' Us, 16 Crown Road) and in accordance with the details set out in the applicants supporting information limiting the size of the unit to 948m².

- Condition 29

The range of goods which may be sold within the newly created retail unit (948m²) shall be limited to the retail sale of pharmaceuticals, health products and beauty products, baby and young children products, photographic products and lunchtime, health and dietary foods related to

a chemists store as well as including the extended range of goods allowed under TP/92/1055 unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that the retail sales from the new retail unit do not prejudice the viability and vitality of the Town Centre and in accordance with the list of goods to be sold as set out in the applicant's supporting information.

- 7.6 TP/91/0110/7 - Variation of Conditions 28 and 29 of TP/91/0110 to permit the creation of a new retail unit within existing premises, for the sale of pharmaceuticals and ancillary products, related to a chemists store including health and dietary foods, baby and young children's products, and photographic processing/sale of associated products. Granted With Conditions 21.12.1999

- Condition 28

The proposed new retail unit to be created within Unit 7 (Toys `R' Us) by its internal subdivision shall be restricted to an area of 948m² in accordance with a plan to be submitted to and approved in writing by the Local Planning Authority specifically defining the area of the new retail unit.

Reason: In order to provide satisfactory details showing the location of the new retail unit to be created within the existing Unit No. 7 and in accordance with the details set out in the applicant's supporting information limiting the size of the Unit to 948m².

- Condition 29

The range of goods which may be sold within the newly created retail unit (948m²) shall be limited to the retail sale of pharmaceuticals, health and beauty products, baby and young children products, photographic processing and ancillary photographic products and lunchtime, health and dietary foods related to a Chemists store as well as including the extended range of goods allowed under TP/92/1055 unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that the retail sales from the new retail unit do not prejudice the viability and vitality of the Town Centre and in accordance with the list of goods to be sold as set out in the applicant's supporting information.

- 7.7 TP/92/1055 - Variation of Condition 29 of planning permission dated 30/ 07/92 (Ref:TP91/0110) to extend the type of goods allowed for sale to include books, newspapers and magazines, children's wear, sports clothing and footwear, radio and television equipment, pet care products and photographic equipment. Granted With Conditions 07.06.1993

- Condition 29

The sale of books, newspapers and magazines from the retail warehouse units shall be limited to the sale of publications which are ancillary to the type of goods sold from the unit.

Reason: to ensure that retail sales do not prejudice the viability of the established shopping centres in accordance with the aims of the Borough Development Plan and Deposit Draft Unitary Development Plan.

7.8 TP/91/0110 - Redevelopment by the erection of retail store (A1) (7060 sq. metres gross floor space) together with coffee shop (A3); automatic teller facilities and petrol filling station; erection of retail warehouse units (15 338 sq. metres gross floor space); erection of restaurant (A3); erection of buildings for B1 or B2 use (5 462 sq. metres gross floor space); erection of a building for B1 use (3 458 sq. metres gross floor space); relocation of electricity sub-station; provision of ancillary parking and service areas; and associated highway and landscaping works. Granted Planning Permission subject to a s106 Legal Agreement 30.07.1992

- Condition 24
That the Use Class A1 and A3 premises hereby approved shall not be open to the public for sales other than between the hours of 0800 and 2000 hours Monday to Wednesday and Saturdays; and 0800 to 2100 hours on Thursdays and Fridays; and at no time on Sundays or Bank Holidays; and that the petrol filling station premises hereby approved shall not be open to the public for sales other than between the hours of 0700 and 2400 on any day.
- Condition 28
That the proposed retail units the subject of this planning permission shall not be subdivided and/or the floorspaces increased unless agreed in writing by the Local Planning Authority.
- Condition 29
That the retail warehouse units Numbers 1 to 7 as identified on the submitted plan A02, shall not be used for any other purpose than the selling of goods by retail, excluding goods within the following expenditure categories (as defined by the Unit for Retail Planning Information 1990):
(i) Category 1 (Food), Category 2 (Alcoholic Drink), Category 3 (Tobacco), Category 4 (Books, Newspapers, Magazines), Category 5 (Clothing and Footwear), Category 7.2 (Radio, TV and Photographic Equipment), 9.1, 9.2 and 9.3 (Chemist Goods and Jewellery).

*Addresses also under:

- Land At, 540, - 580 Great Cambridge Road
- Units 2, 3 6 And 7 Crown Road

4 Crown Road

7.9 TP/10/0480 - Subdivision of retail unit into two retail units involving a side extension, new shop front and entrance and alterations to the existing car park layout. Granted With Conditions 06.08.2010

8. Relevant Planning Policies

8.1 National and Regional Policies
National Planning Policy Framework (NPPF) 2019

8.2 London Plan

- Policy 4.7 Retail and Town Centre Development
- Policy 4.8 Supporting a successful and diverse retail sector and related facilities and services
- Policy 5.1 Climate change mitigation
- Policy 5.3 Sustainable design and construction
- Policy 6.9 Cycling
- Policy 6.10 Walking
- Policy 6.13 Parking
- Policy 7.4 Local character
- Policy 7.6 Architecture

8.3 Core Strategy

- CP13 Promoting economic prosperity
- CP17 Town Centres
- CP18 Delivering shopping provision across Enfield
- CP20 Sustainable Energy use and Energy Infrastructure
- CP24 The Road Network
- CP25 Pedestrians and Cyclists
- CP30 Maintaining and Improving the Quality of the Built and Open Environment
- CP32 Pollution

8.4 DMD

- DMD 25 Locations for New Retail, Leisure and Office Development
- DMD 26 Enfield Town
- DMD37 Achieving High Quality and Design-Led Development
- DMD45 Parking standards and layout (parking, design, car free aspects, car club, traffic flow)
- DMD47 Access, new roads, and servicing (pedestrians, cyclists, vehicular access, refuse, operations for nurseries)
- DMD48 Transport assessments, travel plans, servicing & delivery plans
- DMD49 Sustainable Design and Construction Statements
- DMD68 Noise

9. Analysis

9.1 The principal considerations material to the determination of this application are considered in the following sections of this report:

9	Principle of development - Background - Procedure
10	Land Use

	<ul style="list-style-type: none"> - Policy review - Potential occupiers - Works without consent - Loss of A1 Use floorspace - Conclusion
11	Transport <ul style="list-style-type: none"> - Policy review - Implementation - Construction management - Policy review - Implementation - Construction management
12	Design <ul style="list-style-type: none"> - Policy review - Conclusion - Advertisements
13	Impact on occupying and neighbouring amenity <ul style="list-style-type: none"> - Policy review - Neighbour Amenity - Operating Hours - Conclusion
14	Sustainable design and construction <ul style="list-style-type: none"> - Policy review - Conclusion
15	Community Infrastructure Levy (CIL)
16	Conclusion

Principle of development

Background

- 9.1 The application site was granted planning permission in 1992 (see planning history) as part of a wider retail park redevelopment. Forming part of this permission, conditions Nos.24, 28 and 29 restricted the hour of operation, the use of the site for further subdivision and/or the increase in floorspace; or sell goods such as food, alcoholic drink, tobacco, books, newspapers, magazines), clothing and footwear, radio, tv and photographic equipment, chemist goods and jewellery, unless otherwise agreed by Enfield Council.
- 9.2 The site has been occupied by 'Toys R Us' since the early 1990s whom have sought with subsequent planning applications (See relevant history) to broaden

the range of goods available for sale, introduce a mezzanine floor and subdivide the unit for 'Babies R Us', albeit restricted to 948 square metres of floorspace.

- 9.3 The most recent application determined by Enfield Council was a certificate of lawfulness in 2011 (See relevant history), confirming 'unrestricted Class A1 sales subject to the sale of books, newspapers and magazines being limited to publications ancillary to the type of goods sold from the units'

Procedure

- 9.4 In terms of legislative process, the subdivision of commercial units would not typically constitute development requiring planning permission (Section 55 of the Town and Country Act 1990), nor would the sale of typical products for a use falling within Class A1 (Town and Country Planning Use Classes Order 1987).
- 9.5 However due to the conditions attached to the original 1992 permission (and subsequent amendments), the hours of use, subdivision of the site and the range of goods available for sale must be agreed by Enfield Council.
- 9.6 This application is submitted as a result of the planning conditions attached to the site.

10. Land Use

Policy review

- 10.1 Policy DMD25 outlines suitable locations for retail development of this scale proposed within the boundary of Enfield's existing retail parks and outside of the town centres. The strategic aim of this policy is to ensure the location is the most appropriate for the proposed use.
- 10.2 A sequential test, intended to support the decision-making process, is required to demonstrate no sites are suitable or available within:
- Enfield's town centres
 - The edge of centre locations that are accessible and well connected to, and up to 300 metres from the primary shopping area
- 10.3 Should the above be found satisfactory, a further retail impact assessment can be required to demonstrate that the development is not likely to have a negative impact upon the viability and vitality of Enfield's centres or planned investment in centres and that the development increases the overall sustainability and accessibility of the retail park.
- 10.4 The applicant has submitted a sequential test, utilising the hierarchy of centres, that was undertaken in mid-2018 within a floorspace range of 1,500sqm to 5,000sqm. The assessment also acknowledges however a preference for a ground floor unit (or at least predominantly based on the ground floor), surface level parking facilities, and dedicated delivery access.

- 10.5 Enfield's town centre was surveyed and contained 31 vacant commercial/retail units, the largest of which was 483 sqm, whilst the average vacant floorspace was 132 sqm. Given the minimum floorspace considered for this sequential test is has been demonstrated Enfield Town Centre would not be suitable in this context.
- 10.6 The edge of Enfield's town centre locations was surveyed and contained 4 vacant commercial/retail units within the range of 929 sqm to 5,574 sqm, all of which were considered unsuitable for a variety of reasons including, existing tenancies until 2026, located at upper floor levels and below threshold of floorspace requirements.
- 10.7 Within this context, the sequential test has demonstrated a number of locations unsuitable for the proposed development both in the Enfield's town centres and areas well connected areas adjacent.
- 10.8 With specific regard to the Enfield Retail Park, the parent building comprises a single floor plate, almost twice as large as units 1 -14 (evens). The site has also been marketed for a year, with interest primarily for its subdivision. Within this context, the current unit lends itself to the operation as two (2) separate units.

Potential occupiers

- 10.9 The applicant has identified 'Lidl' occupying the larger unit A of 2,115 square metres, with a retailer of large electric goods occupying unit B of sqm 1,589 square metres, both of which are in the later stages of confirming tenancy.

Works without consent

- 10.10 In terms of potential retail impacts to the Enfield Retail Park, as per Policy DMD25, this must be tempered with the scope of works capable without the need for planning consent.
- 10.11 The site, at present could be occupied by two (2) separate retailers of 4,054 square metres and 948 square metres, without the need for planning permission. Therefore a retailer of large electric goods or Lidl could occupy the site without the need for consent. The matters limiting the scope of the site relate to conditions attached to the 1992 permission which restrict the size of each unit within the parent building, opening hours and the range of goods available for sale.
- 10.12 The site, at present could be occupied by two (2) separate retailers of 4,054 square metres and 948 square metres, without the need for planning permission. Therefore a retailer of large electric goods or food could occupy the site without the need for consent. The matters limiting the scope of the site relate to conditions attached to the 1992 permission which restrict the size of each unit within the parent building, opening hours and the range of goods available for sale, namely open A1 Use, save for books, newspapers and magazines being limited to publications ancillary to the type of goods sold.

- 10.13 Given that this application would seek to subdivide the current building on a more equal floorplate, offering a wider range of goods during extended opening hours, the resulting impact would be of no greater harm than the potential arrangement without the need for consent.
- 10.14 In assessment of the wider impact, the applicant has confirmed that this new store Lidl would not require the closure of any other stores within the Borough, including that in Enfield Town Centre.

Loss of A1 Use floorspace

- 10.15 Although the proposal would involve the loss of technically A1 retail floorspace totalling 992 square metres, having visited the site, officers are satisfied, that the removal of non-trade floorspace, for ancillary office and administrative functions is acceptable.

Conclusion

- 10.16 The applicant has demonstrated to the Council's satisfaction that a sequential test has been applied which shows no suitable sites available within the town centres or accessible edges. Furthermore, the development would not have a negative impact upon the viability and vitality of Enfield's centres or planned investment in centres.

11 Transport

Policy review

- 11.1 Policy 6.3 of the London Plan confirms that the impact of development proposals on transport capacity and the transport network are fully assessed. The proposal is expected to comply with policies cycling (Policy 6.9), walking (Policy 6.10), tackling congestion (Policy 6.11) and parking (Policy 6.13). Policies DMD45 and DMD47 provide the criteria upon which developments will be assessed with regard to parking standards / layout and access / servicing.
- 11.2 Policy DMD 45 and DMD48 seeks to minimise car parking and to promote sustainable transport options. The Council recognises that a flexible and balanced approach needs to be adopted to prevent excessive car parking provision while at the same time recognising that low on-site provision sometimes increases pressure on existing streets.

Site context

- 11.3 The site is located within the Enfield Retail Park, accessed off Great Cambridge Road and via Crown Road and Chalkmill Drive. A total of 597 customer car parking spaces are currently available across the Enfield Retail Park site. The site has a Public Transport Accessibility Level of poor / moderate (PTAL rating of 2 / 3).
- 11.4 The proposal would result in the subdivision of the existing building (totalling 5047.8 square metres) falling within A1 Use, to form two (2) units falling with A1 use of 2,115 square metres (Unit A) and 1,589 square metres (Unit B).
- 11.5 The site access arrangement and internal traffic management would remain as existing. The entrance from Crown Road and exit onto Chalkmill Drive are existing junctions and would continue to serve the car park adjacent to Unit B. Car parking is shared with the wider retail park, whilst servicing access is via a dedicated yard to the north of the unit, accessible from Chalkmill Drive.
- 11.6 The removal of the *west facing* canopy would afford 8 car parking spaces, 6 of which would be relocated from the south facing car park adjacent to Unit B. The proposal would therefore result in an increase of 2 car parking spaces.
- 11.7 The application form and associated site location plan indicates that the land surrounding the wider retail unit, including the majority of the car park is outside of the applicants remit/ownership. As a result, the proposed alterations to the wider site are limited, as is the scope for assessment against transport relevant policy.
- 11.8 It is worth noting that the subdivision of commercial units would not typically constitute development requiring planning permission, nor would the sale of typical products for a use falling within Class A1, however due to the conditions attached to the original 1992 permission, the hours of use, subdivision of the site and the range of goods available for sale must be agreed by Enfield Council. The current units could however be occupied without planning permission, albeit of a different goods/retail offer.
- 11.9 Within this legislative and ownership context, the applicant has however submitted a transport assessment of the Enfield Retail Park in support of this application and includes the following:
- A parking occupancy survey (including Friday, Saturday and Sunday)
 - A traffic survey (Trip generation) (including Friday, Saturday and Sunday)
 - A servicing survey

Parking

- 11.10 The majority of the wider car park is outside of the applicants remit/ownership, therefore additional parking for the wider car park has not been proposed as part of this application. The addition of 2 car parking spaces is a result of a relocated pedestrian area within the applicant's site.
- 11.11 The proposal would result in the reduction in floorspace across the site by 992 square metres (ancillary office and administrative functions) and the likely form of intensification to result is expected to be the additional retail units offer, rather than the retail floorspace (square metres) that would remain.
- 11.12 The parking occupancy survey indicates a total of 597 customer car parking spaces are currently available across the Enfield Retail Park site. The survey (worst case scenario) indicates 8 car parking spaces will be available on Sunday peak at 14:00-15:00.
- 11.13 Enfield's transport officers raise objection in this respect, given that vehicles at this peak time would be circulating in the car park looking for spaces, this would detrimentally compound congestion on the internal retail roads.
- 11.14 Enfield's planning officers must balance the impact of the proposal with the scope of works achievable without consent. Whilst it is clear the proposal could result in potentially detrimental congestion within the retail park, the occupation of the site by 2 retail units could proceed without the need for further consents and ultimately have the same consequences.
- 11.15 In accordance with current London Plan standards, the cycle provision for a retail development of 1,589 square metres (Unit B) would be 9 long stay (secure and fully enclosed) cycle parking spaces for staff and 22 short stay visitor cycle parking spaces, whilst the retail development of 2,115 square metres (Unit A) would be 5 long stay (secure and fully enclosed) cycle parking spaces for staff and 9 short stay visitor cycle parking spaces.
- 11.16 In accordance with current London Plan standards, 10% of the car parking spaces must have Electric Vehicle provision, with a further 10% having passive provision for future Electric Vehicle spaces.
- 11.17 Enfield's transport officers raise objection in this respect, given the offer falls short of the policy requirement.
- 11.18 Enfield's planning officers must balance the impact of the proposal with the scope of works achievable without consent. Whilst the absence of such provision would fail to promote or prioritise sustainable transport or reduce car use, it would not be within the gift of the applicant to provide said requirements on land under different ownership outside of their remit, therefore this requirement shall be waived.

Trip generation

- 11.19 Crown Road / Baird Road roundabout is an existing five-arm roundabout junction (Access Road (N), Crown Road (E), Baird Road (S), Sainsburys Access and Crown Road (W)) that provides access from Great Cambridge Road to Crown Road and Chalkmill Drive associated with this development.
- 11.20 The traffic survey (Trip generation) indicates the proposal would result in increasing delays to each arm of the roundabout, particularly the Access Road arm just from under capacity to over capacity, as well as increasing the delay by over 46 seconds. It is worth noting the operation of the site with the extant use would also repeat a similar level of congestion and increase the delay by over 29 seconds.
- 11.21 The survey also indicates the proposal would increase delays at the junction with Great Cambridge Road, currently 50 seconds to 127 seconds, pushing the saturation of vehicles from 90% on two arms only, to over 100% on virtually all the arms.
- 11.22 It is worth noting the operation of the site with the extant use would also repeat a similar level of saturation of vehicles with over 93% on virtually all the arms and an increase in delays by over 88 seconds.
- 11.23 Enfield's transport officers raise objection in this respect, coupled with 8 car parking spaces available, drivers would likely be circulating in the car park looking for spaces, and this could exacerbate delays that will cause further congestion on the internal estate roads.
- 11.24 Enfield's planning officers must balance the impact of the proposal with the scope of works achievable without consent. The survey, acknowledging the increase in congestion that would result from the proposal, also is clear in that the operation of the site with the current arrangement would also lead to a significant rise in congestion.

Deliveries and Servicing

- 11.25 Servicing will continue to take place via the existing dedicated service yard, accessed via a separate junction from Chalkmill Drive. Each retail unit is provided with a separate service yards, however all are accessed from Chalkmill Drive. The submitted servicing survey (including swept path analysis) indicates that a 16.5m articulated HGV can access and egress the site in forward gear, and turn safely within the service yard area. In terms of deliveries, numbers are considered suitable for the safe operational capacity of the service yard.

Conclusion

- 11.26 The proposal would increase trip generation and increase parking pressures that would be detrimental to the site, and has raised an objection from Enfield's transport officers. This position however must be tempered with the scope of the proposal and the potential operation of the site without further consent.
- 11.27 The wider car park is outside of the applicants remit/ownership and therefore restricts the offer of additional parking spaces and associated parking measures (including bicycles and Electric Vehicle provision).
- 11.28 The operation of the site as 2 separate retail units could proceed without further consent. If this option were to be taken, no requirement for additional parking spaces and associated parking measures could be secured. In addition, congestion to a significant degree would result from this option, again without the Council able to secure mitigation measures.
- 11.29 Within this context, the acknowledged impact as a result of the proposal would follow were the operation of the site to proceed without further consent.

12. Design

Policy review

- 12.1 Policy CP30 requires new development to be of a high-quality design and in keeping with the character of the surrounding area. DMD37 states that development that is not suitable for its intended function that is inappropriate to its context, or which fails to have appropriate regard to its surroundings, will be refused.
- 12.2 The site context is primarily commercial/industrial and is both utilitarian and modern in character and appearance. The parent building is typical of a warehouse, with composite wall cladding above brick piers and metal glazed entrances at ground floor level, which is consistent with units 1 -14 (evens) of the Enfield Retail Park.
- 12.3 The proposal would amend the single front glazed element to provide for two (2) entrances, considerate of the form and materials of the retail park.
- 12.4 The proposal would result in the removal of the projecting canopy, used for signage and is featured on all but one (Unit 1A) of units 1 -14 (evens) Crown Road. Although this would alter somewhat the character of building and its relationship with the group, it would not be detrimental.
- 12.5 Unit 1A, a later development (extension to match) which begins this group is without such a canopy and is considered acceptable. The removal of this feature

at the end of this group is also considered acceptable and would not detract from the overall character and appearance of the retail park.

- 12.6 The associated changes to each elevation are considered utilitarian, including alterations to security and fire doors and are suitable.

Conclusion

- 12.7 The proposed alterations are considered appropriate and would not result in detrimental harm to the character and appearance of the building, the group of which it is a part, and the locality. The proposal therefore complies with Policy DMD37.

Advertisements

- 12.8 The submitted drawings indicate commercial signage that do not form part of this application and assessment and the applicant has been reminded that separate advert consent under the Town and Country Planning (Control of Advertisements) (England) Regulations 2007 is required.

13. Impact on occupying and neighbouring amenity

Policy review

- 13.1 London Plan policy 7.6 and policy DMD 37: Achieving High Quality and Design-Led Development, seek to preserve amenity in terms of daylight, sunlight, outlook, privacy, overlooking, noise and disturbance.

Neighbour Amenity

- 13.2 The application site is located to the centre of the commercial park, bound in each direction by retail or industrial uses. The closest residential properties are located to the north east of the site on Broadfield Square, however in between are highways, industrial units and associated car parks. Within this context, the potential to impact the amenity levels of the nearest residential occupiers is limited.

Operating Hours

- 13.3 The operating hours of the site is currently:

- Between 08:00 and 20:00 hours Monday to Wednesday and Saturdays
- Between 08:00 and 21:00 hours on Thursdays and Fridays, and
- No at no times Sundays or Bank Holidays.

- 13.4 The proposal seeks the following:

- Between 07:00 and 23:00 hours Monday to Saturday and Bank Holidays
- Between 10:00 and 18:00 hours on Sundays

- 13.5 Although this would result in the intensification of the use that would go beyond those already in operation with the retail park, given the function of the location, its accessibility and proximity from neighbouring residential occupiers, the proposal is considered acceptable and shall be secured by condition.

Conclusion

- 13.6 The nature and proximity of this proposal with residential occupiers would not result in a detrimental impact in terms of noise, odours or air quality, outlook or light. The proposal is therefore to comply with Policies DMD68.

14. Sustainable design and construction

Policy review

- 14.1 London Plan policies 5.2 and 5.3 and policies DMD 51: Energy Efficiency Standards seek to secure energy efficiencies and reduce the emissions of CO2.

Conclusion

- 14.2 The proposal involves the alteration of fenestration and entrances, along with the subdivision of the building. The proposal does not therefore propose significant alterations, the change of use of the building nor any additional buildings, therefore the requirements for secure energy efficiencies and reduce the emissions as per DMD51 would not be triggered. The applicant has however been recommended to identify and/or provide, where appropriate, on-site renewable energy generation through the use of low and zero carbon technologies.

Community Infrastructure Levy (CIL)

- 9.30 Given the nature of the proposals the development would not be liable for either the Mayoral or Enfield CIL, as there would be no increase in floorspace nor creation of any additional residential units.

15. Conclusion

- 15.1 The considerations weighing against and in support of the application are finely balanced and require a balanced judgement.

- 15.2 Weighing against the application, the proposal would increase trip generation and increase parking pressures that would be detrimental to the site, however officers have also considered the impact of the operation of the site at present (without the requirement of consent) and recognise this would increase trip generation and increase parking pressures that would also be detrimental to the site.

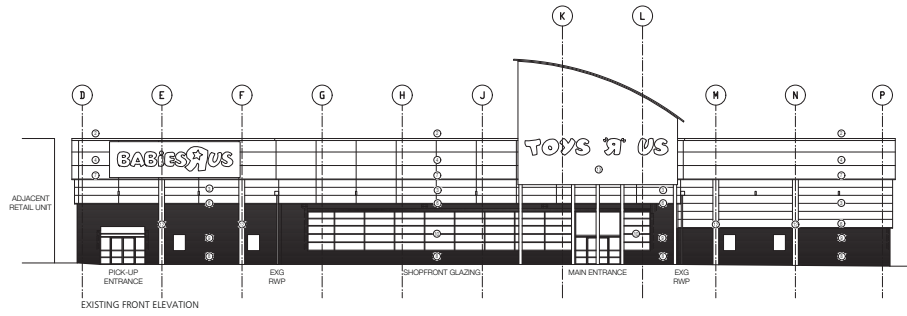
- 15.3 In support of the application, the proposal would bring into use a vacant and sizeable retail unit in a business park, bringing employment generation to the borough. The proposal would not result in the increase in retail floorspace onsite, but rather reappportioning existing floorspace for the operation of 2 retail units.

Despite the increase in congestion, officer considered the benefits of the scheme and the extent to which the operation of the site could operate without further consent and consider the balance tips in favour of accepting the proposal.

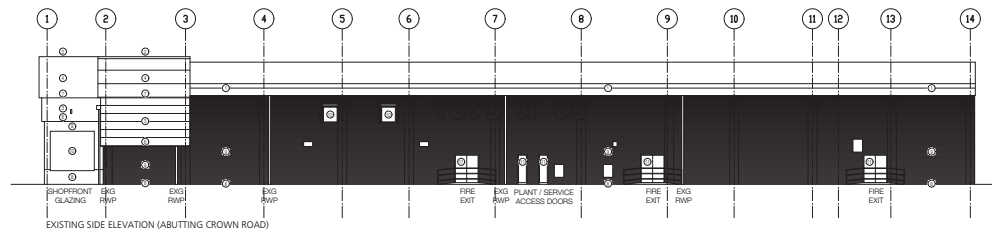
- 15.4 The applicant has demonstrated to the Council's satisfaction that a sequential test has been applied which shows no suitable sites available within the town centres or accessible edges. Furthermore the development would not have a negative impact upon the viability and vitality of Enfield's centres or planned investment in centres.
- 15.5 The proposed alterations are considered appropriate and would not result in detrimental harm to the character and appearance of the building, the group of which it is a part, and the locality.
- 15.6 The nature and proximity of this proposal with residential occupiers would not result in a detrimental impact in terms of noise, odours or air quality, outlook or light.
- 15.7 The development would be appropriate and in accordance with relevant National and Regional Policy, Core Strategy and Development policies and for the reasons noted above.

SCHEDULE OF EXISTING EXTERNAL MATERIALS

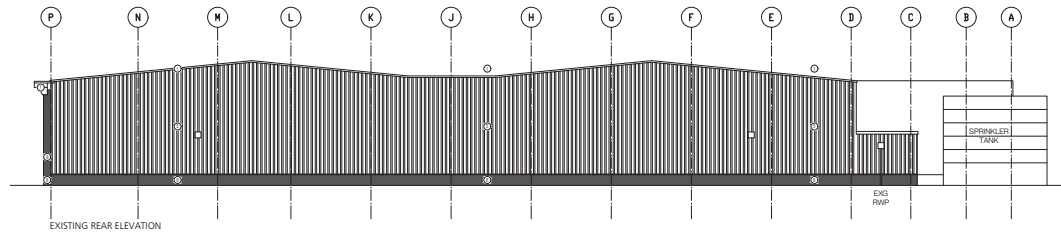
- 1) EXISTING PLASTISOL COATED FEATURE FASCIA / SOFFIT, COLOUR CREAM
- 2) EXISTING PLASTISOL COATED PRESSED METAL COPING / FLASHING, COLOUR DARK GREY
- 3) EXISTING HORIZONTALLY LAID COMPOSITE WALL CLADDING PANELS, COLOUR DARK GREY
- 4) EXISTING HORIZONTALLY LAID COMPOSITE WALL CLADDING PANELS, COLOUR LIGHT GREY
- 5) EXISTING TRAPEZOIDAL SHEET CLADDING, COLOUR CREAM
- 6) DRIP FLASHINGS AND SOFFIT CLOSER TO BASE OF CLADDING, COLOUR DARK GREY
- 7) DRIP FLASHINGS AND SOFFIT CLOSER TO BASE OF CLADDING, COLOUR LIGHT GREY
- 8) EXISTING BRICK PLINTH AND CONTRASTING BAND, COLOUR BLUE / GREY
- 9) EXISTING BRICK PIERS AND PANELS, COLOUR BUFF
- 10) EXISTING GLAZED SHOP FRONT, WITH WHITE ALUMINIUM POWDER COATED FRAMES
- 11) EXISTING SECURITY DOORSETS PAINTED, COLOUR BROWN
- 12) EXISTING POLISHED BLOCK PIERS, COLOUR GREY
- 13) EXISTING ENTRANCE FEATURE / SIGNAGE



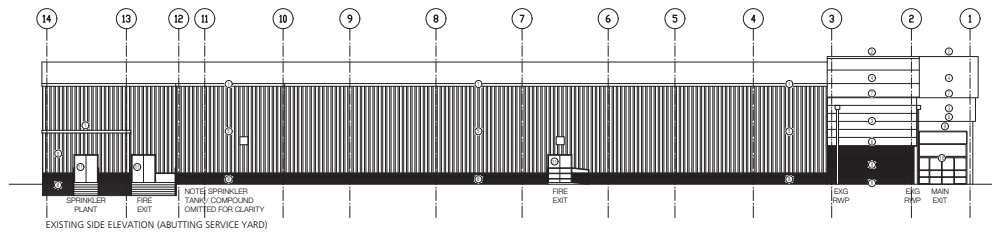
EXISTING FRONT ELEVATION



EXISTING SIDE ELEVATION (ABUTTING CROWN ROAD)



EXISTING REAR ELEVATION



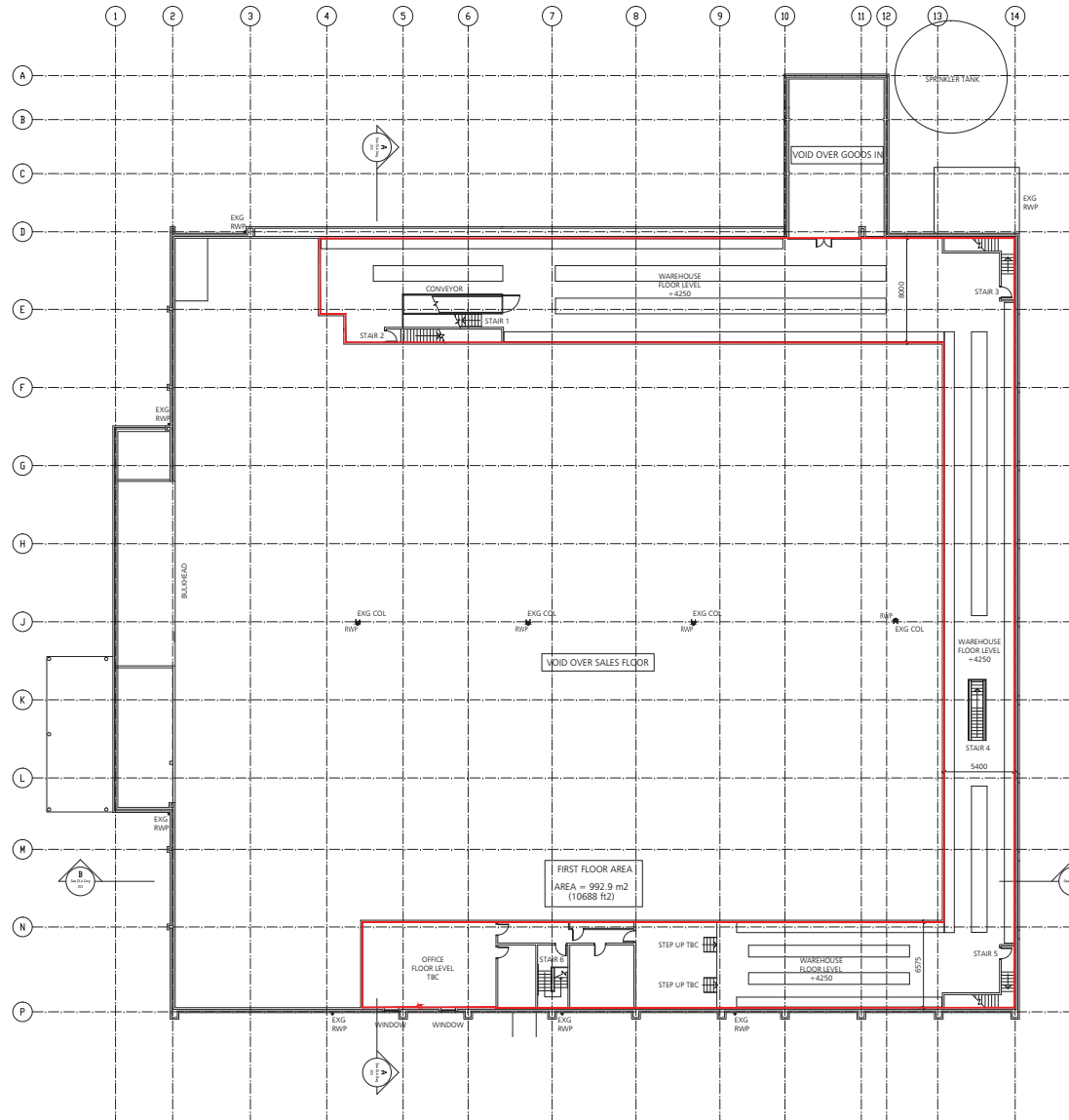
EXISTING SIDE ELEVATION (ABUTTING SERVICE YARD)

REVISIONS

A	22/02/19	JH	ML
B	17/02/19	ML	APH

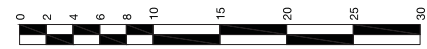
BRICK DETAILING UPDATED ON FRONTAGE.



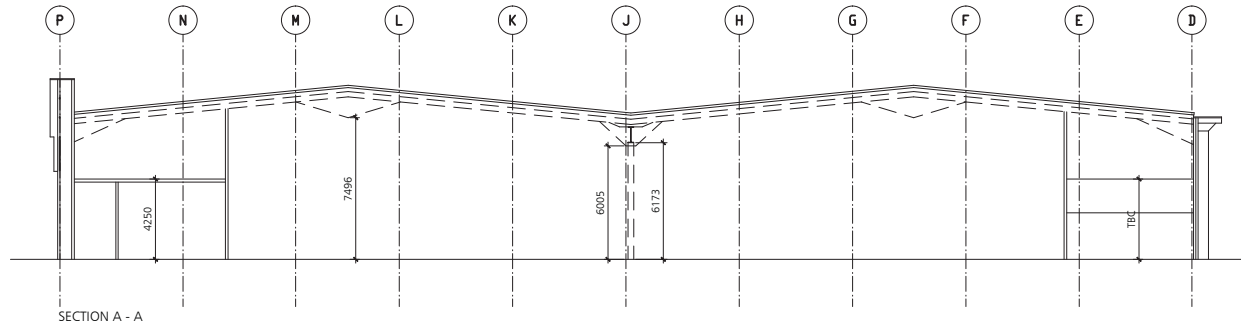


EXISTING FIRST FLOOR PLAN

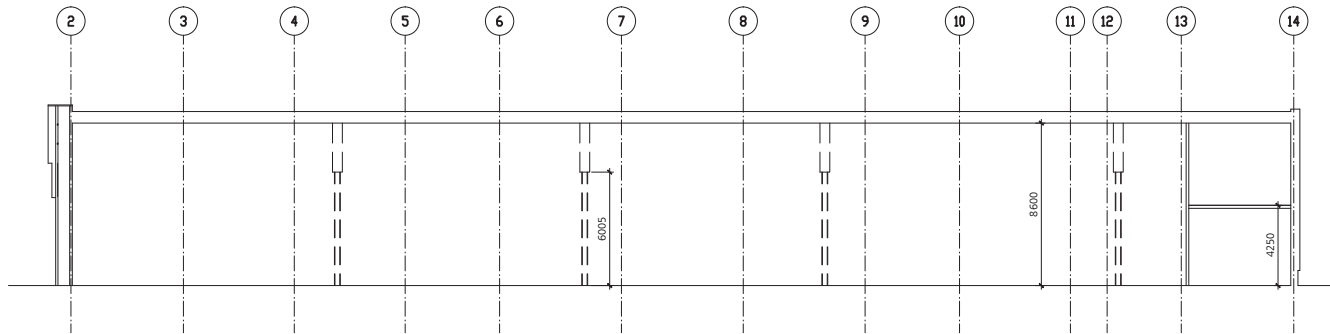
— DENOTES EXTENT OF FIRST FLOOR AREA



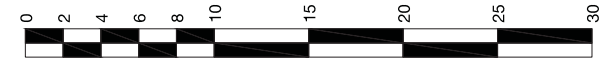
Note: This is a colour drawing, in order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour

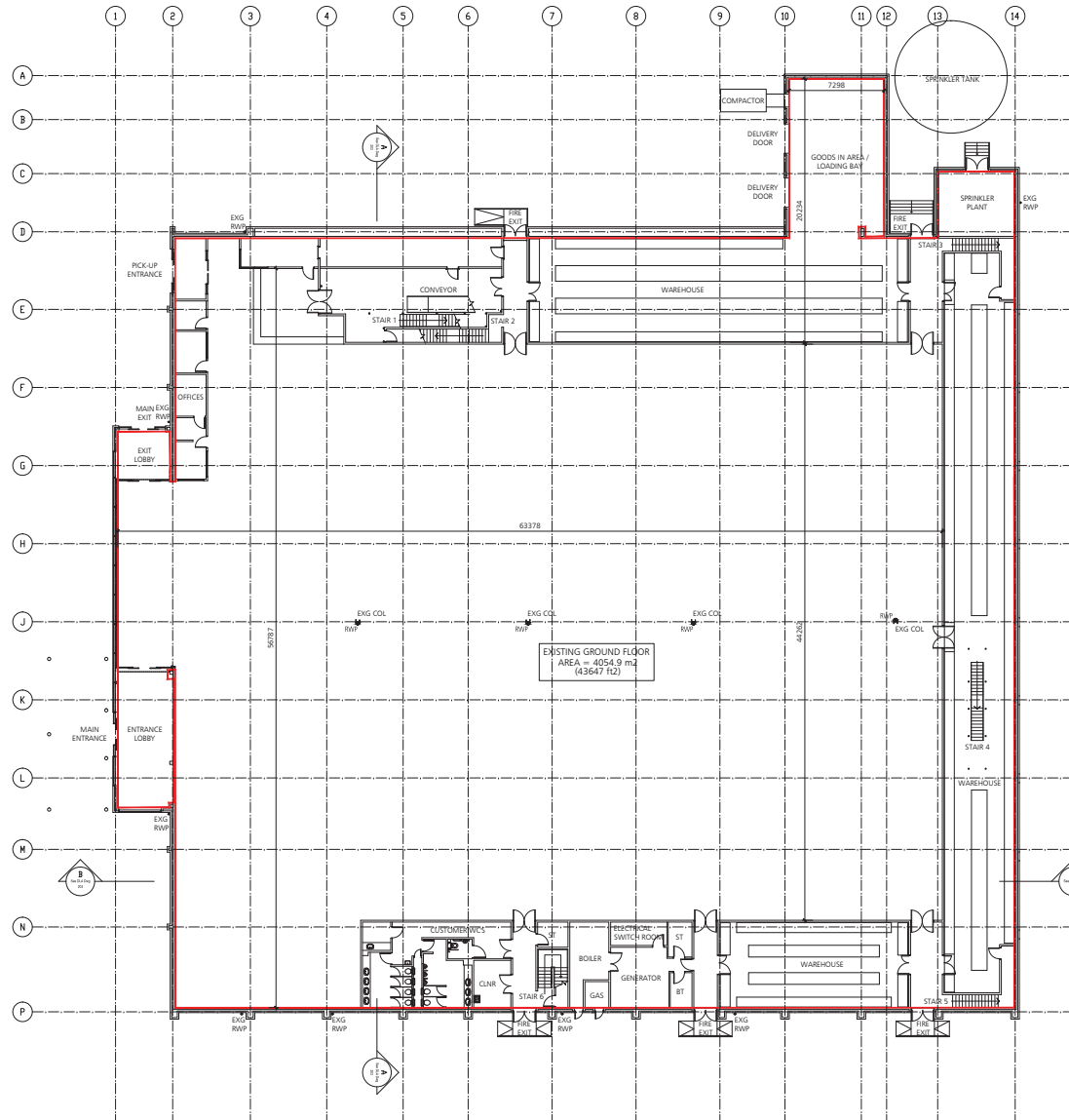


SECTION A - A



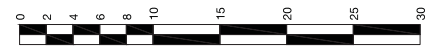
SECTION B - B

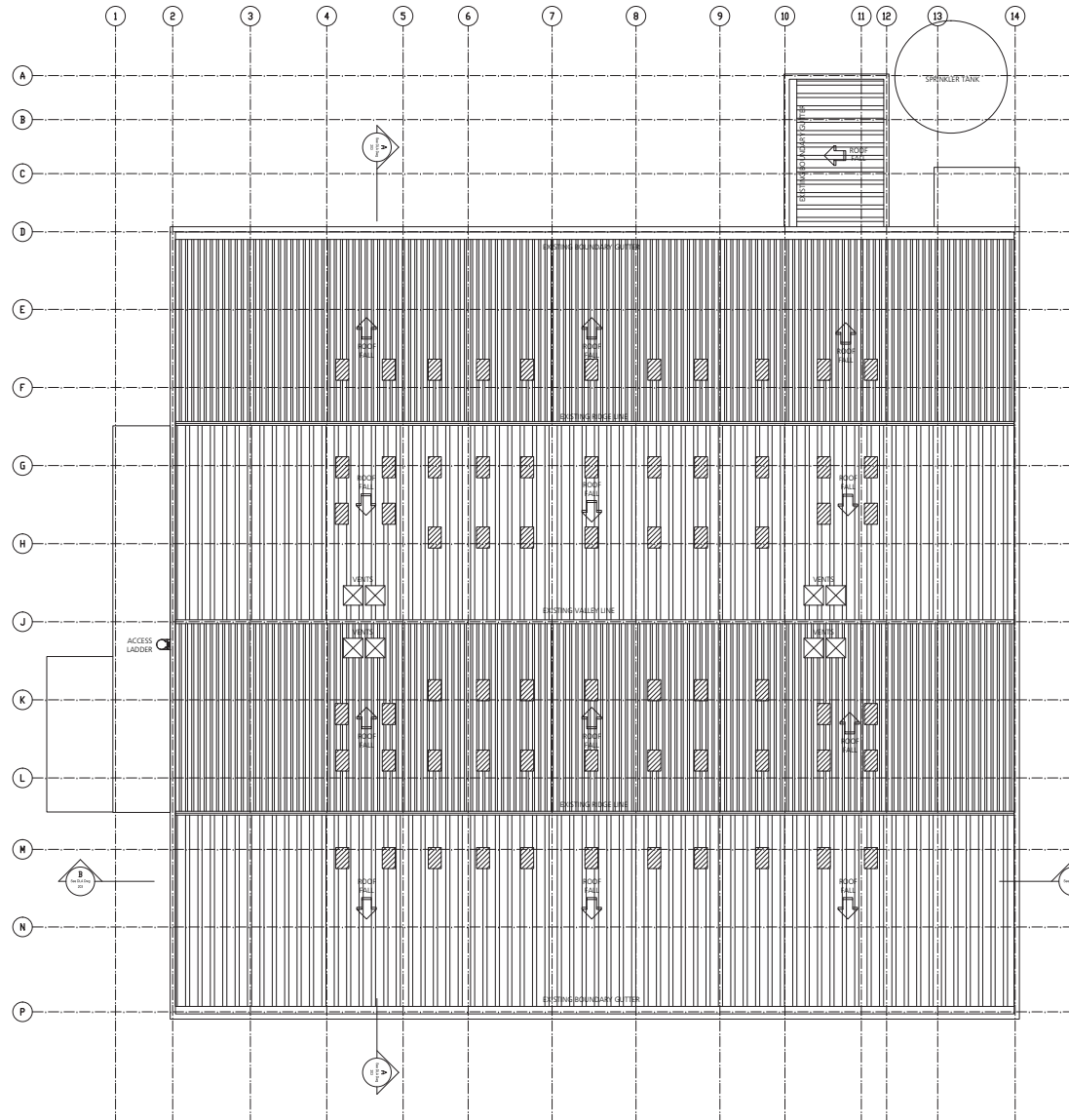




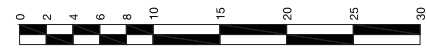
EXISTING GROUND FLOOR PLAN ——— DENOTES EXTENT OF GROUND FLOOR AREA

Note: This is a colour drawing, in order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour





EXISTING ROOF PLAN



REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED IN LINE WITH LATEST TENDOR SCHEDULE	22/02/19
2	ISSUED IN LINE WITH LATEST TENDOR REQUIREMENTS	22/02/19
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General Notes

The drawing is to be read in conjunction with DLA Architectural drawing history.

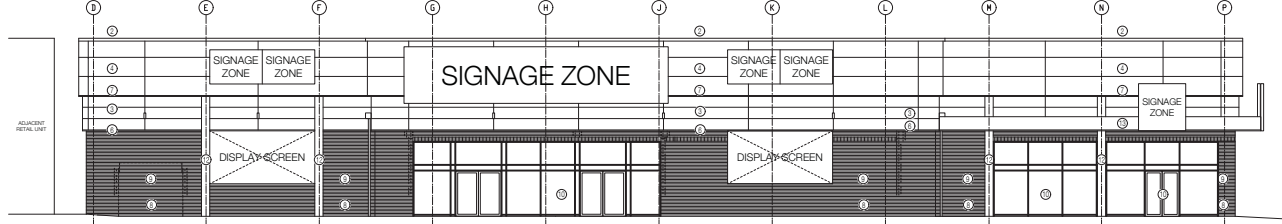
2016-100101 Existing Site Plan (D3 Brief)
 2016-100110 Proposed Site Plan (D3 Brief)
 2016-100200 Existing Ground Floor Plan
 2016-100201 Existing First Floor Plan
 2016-100202 Existing Roof Plan
 2016-100203 Existing Section
 2016-100204 Existing Elevation
 2016-100210 Proposed Ground Floor Plan
 2016-100211 Proposed First Floor Plan
 2016-100212 Proposed Roof Plan
 2016-100213 Proposed GA Section
 2016-100220 Demolition First Ground Floor
 2016-100221 Demolition First Floor Plan
 2016-100222 Demolition First Floor Level
 2016-100223 Demolition Section
 2016-100224 Demolition Elevation
 2016-100225 Schedule of Work

The drawing is to be read in conjunction with all relevant Structural Engineers design drawings and specifications.

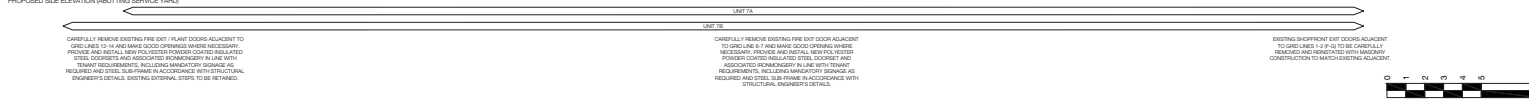
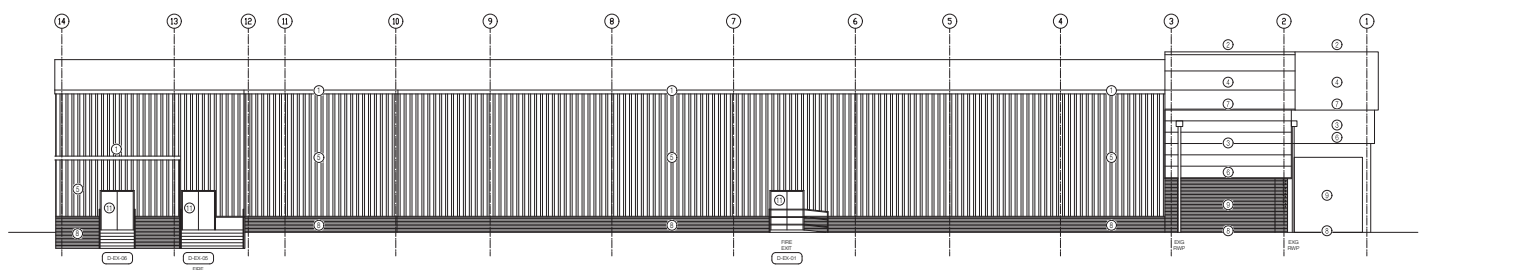
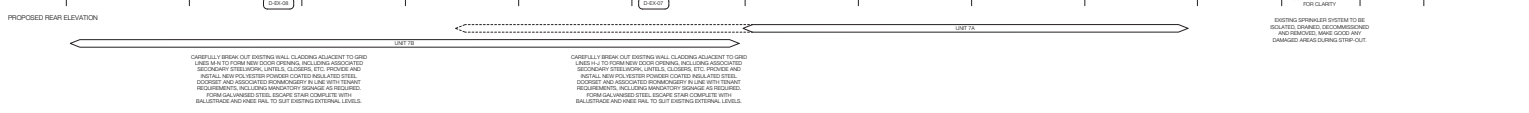
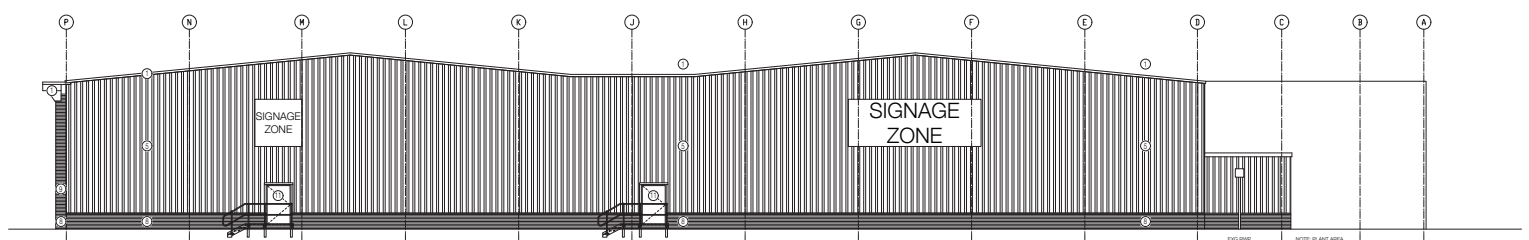
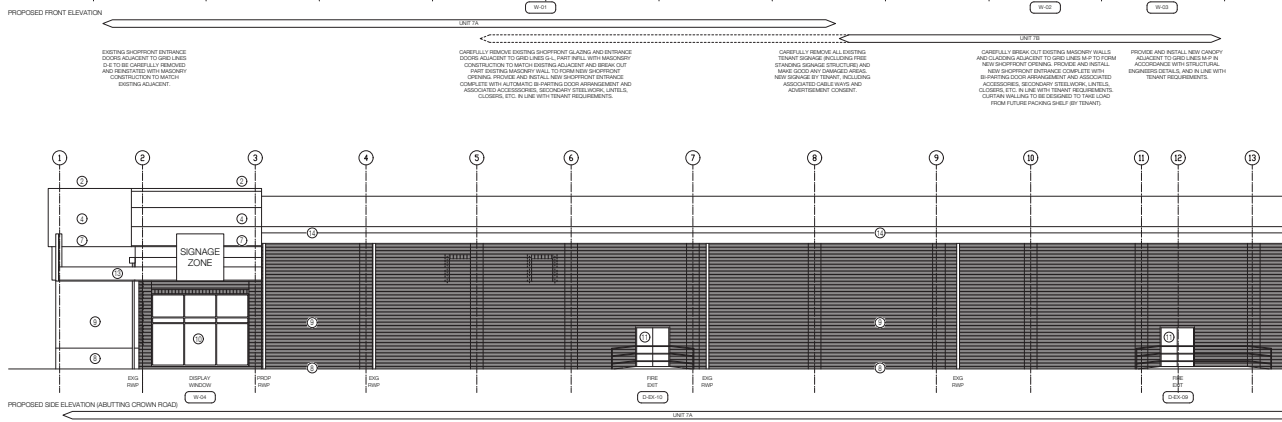
This drawing is to be read in conjunction with all relevant Mechanical Engineers design drawings and specifications.

The information on this drawing has been prepared from the survey undertaken by John Hutchinson June 2018.

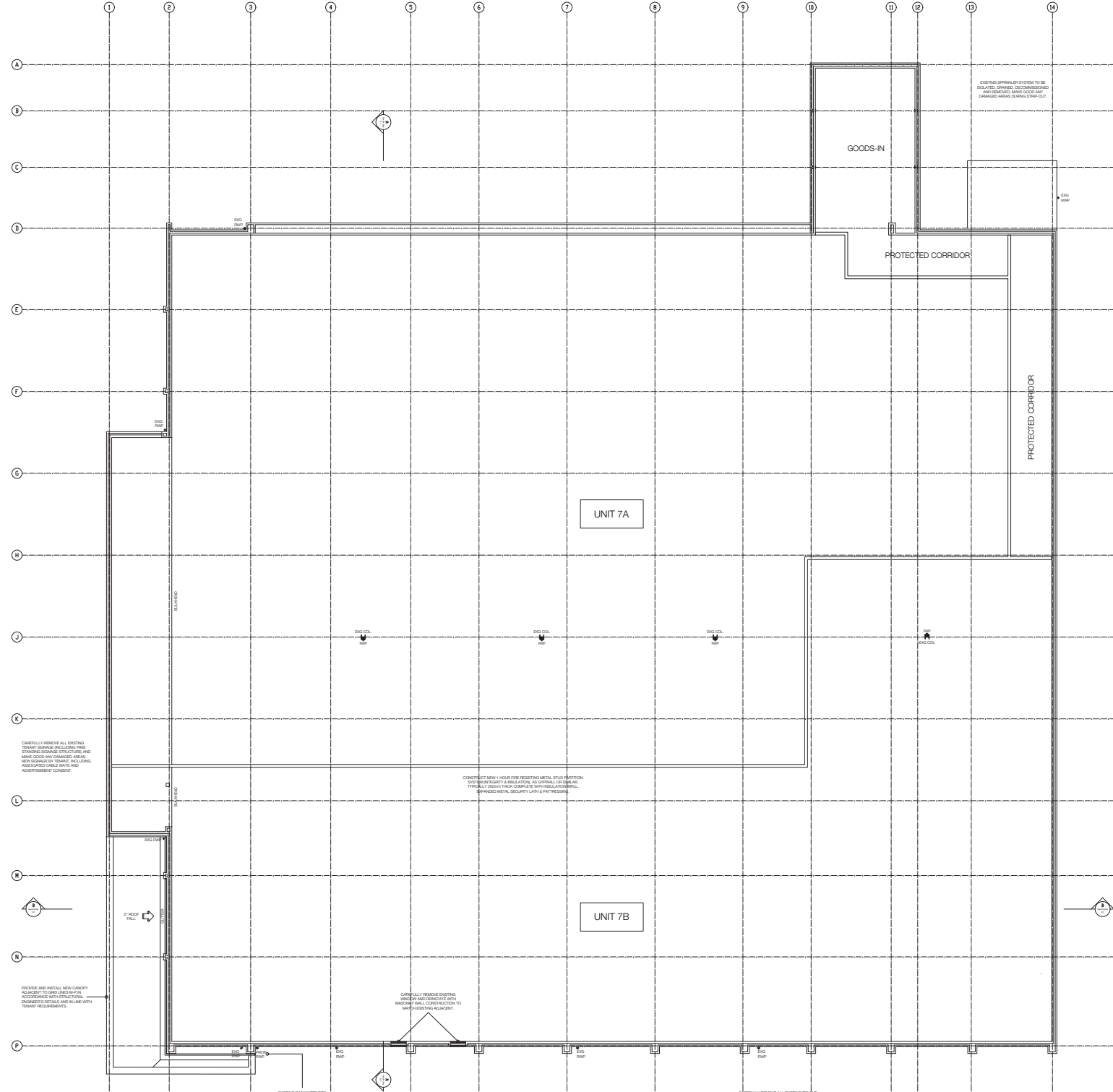
All dimensions to be checked on site and any discrepancies reported to the Architect.



- SCHEDULE OF FINISHES AND MATERIALS**
- EXISTING MATERIALS, COATED REINFORCE FABRIC, SOFFIT, COLOUR CREAM
 - EXISTING MATERIALS, COATED PRESSED METAL, SOFFIT / FLASHING, COLOUR GREY GREY
 - EXISTING HORIZONTALLY LAD COMPOSITE WALL CLADDING PANELS, COLOUR GREY GREY
 - EXISTING HORIZONTALLY LAD COMPOSITE WALL CLADDING PANELS, COLOUR LIGHT GREY
 - EXISTING TRANSVERSAL SHEET CLADDING, COLOUR CREAM
 - DRP FLASHINGS AND SOFFIT CLOSER TO BASE OF CLADDING, COLOUR LIGHT GREY
 - EXISTING BRICK BATH AND CONTRASTING BANDS, COLOUR BLUE / GREY
 - EXISTING BRICK PERS AND PANELS, COLOUR BUFF
 - NEW GLAZED SHOP FRONT WITH GREY ALUMINIUM POWDER COATED FRAMES
 - NEW SECURITY DOORSETS PAINTED, COLOUR GREY
 - EXISTING POLISHED BLUE PINE, COLOUR GREY
 - NEW GANTLITZERED CANOPY WITH POL. VESTER POWDER COATED CLADDING, COLOUR GREY
 - EXISTING MATERIALS, COATED REINFOR FABRIC, SOFFIT, RECOLORISED, COLOUR LIGHT GREY (TO MATCH CLADDING)



General Notes:
 The drawing is to be read in conjunction with DLA Architecture drawing numbers:
 2018-106101 Existing Site Plan (S1 Base)
 2018-106101 Proposed Site Plan (S2 Base)
 2018-106200 Existing Ground Floor Plan
 2018-106201 Existing First Floor Plan
 2018-106202 Existing Second Floor Plan
 2018-106203 Existing Lift Shafts
 2018-106204 Existing Elevations
 2018-106210 Proposed Ground Floor Plan
 2018-106211 Proposed First Floor Plan
 2018-106212 Proposed Second Floor Plan
 2018-106213 Proposed Lift Shafts
 2018-106214 Proposed Elevations
 2018-106220 Demolition First Ground Floor Plan
 2018-106221 Demolition First First Floor Plan
 2018-106222 Demolition First Second Floor Plan
 2018-106223 Demolition First Lift Shafts
 2018-106224 Demolition First Elevations
 2018-106225 Schedule of Works
 The drawing is to be read in conjunction with all relevant Structural Engineers detail design drawings and specifications.
 The drawing is to be read in conjunction with all relevant Mechanical Engineers detail design drawings and specifications.
 The information on this drawing has been reproduced from the survey undertaken by the architect prior to 2018.
 All dimensions to be checked on site and any discrepancies reported to the Architect.



PROPOSED FIRST FLOOR PLAN

REVISIONS

A	12/06/19	JH	ML
B	21/09/19	JH	ML
C	17/07/19	ML	APH

UNIT 7B GANGPLY UPDATED. ISSUED FOR PLANNING.

General Notes:

This drawing is to be read for "Proposed GA Sections" purposes only.

This drawing is to be read in conjunction with DLA Architecture drawing numbers:

- 2018-106/101 'Existing Site Plan (CS Base)
- 2018-106/110 'Proposed Site Plan (CS Base)
- 2018-106/200 'Existing Ground Floor Plan'
- 2018-106/201 'Existing First Floor Plan'
- 2018-106/202 'Existing Roof Plan'
- 2018-106/203 'Existing GA Sections'
- 2018-106/204 'Existing Elevations'

- 2018-106/210 'Proposed Ground Floor Plan'
- 2018-106/211 'Proposed First Floor Plan'
- 2018-106/212 'Proposed Roof Plan'
- 2018-106/214 'Proposed Elevations'

- 2018-106/220 'Demolition Plan Ground Floor'
- 2018-106/221 'Demolition Plan First Floor'
- 2018-106/222 'Demolition Plan Roof Level'
- 2018-106/224 'Demolition Elevations'

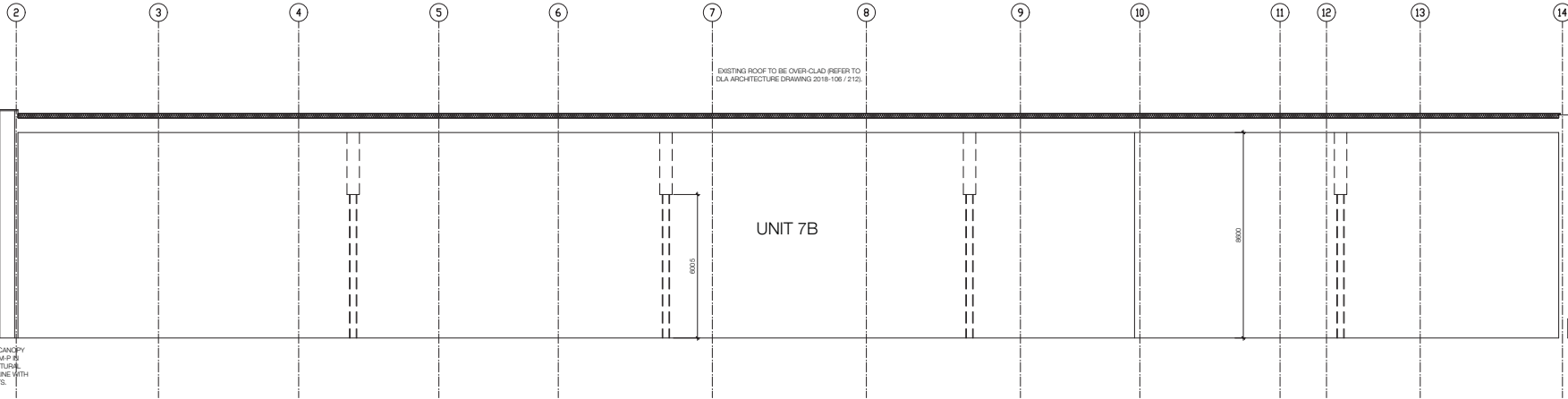
- 2018-106/000 'Schedule of Works'

This drawing is to be read in conjunction with all relevant Structural Engineers detail design drawings and specifications.

This drawing is to be read in conjunction with all relevant Mechanical Engineers detail design drawings and specifications.

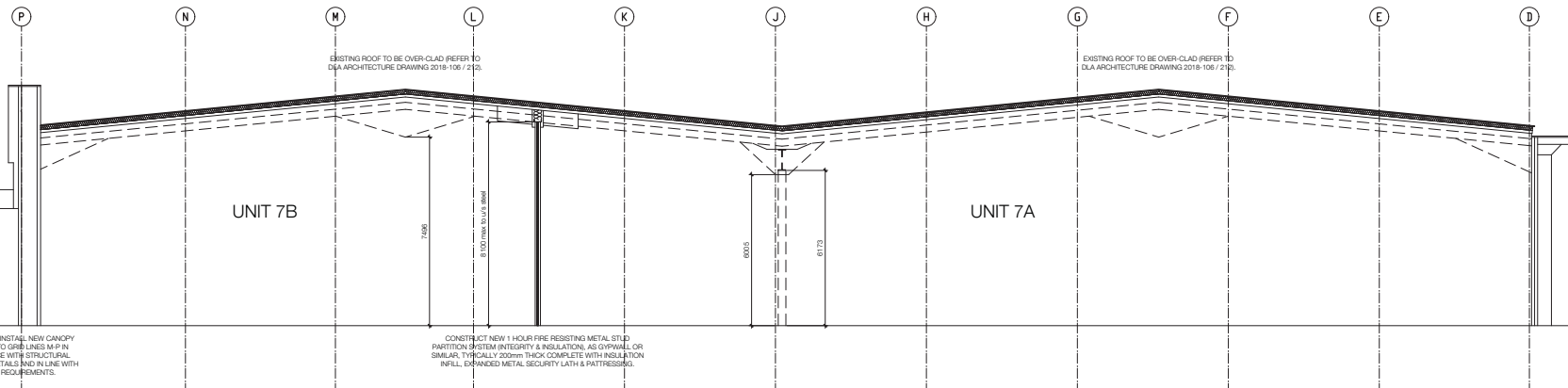
The information on this drawing has been interpolated from the survey undertaken by Evolve Architecture (June 2018).

All dimensions to be checked on site and any discrepancies reported to the architect.



PROVIDE AND INSTALL NEW GANGPLY ADJACENT TO GRID LINES M-M IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DETAILS AND IN LINE WITH TENANT REQUIREMENTS.

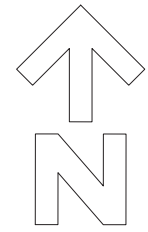
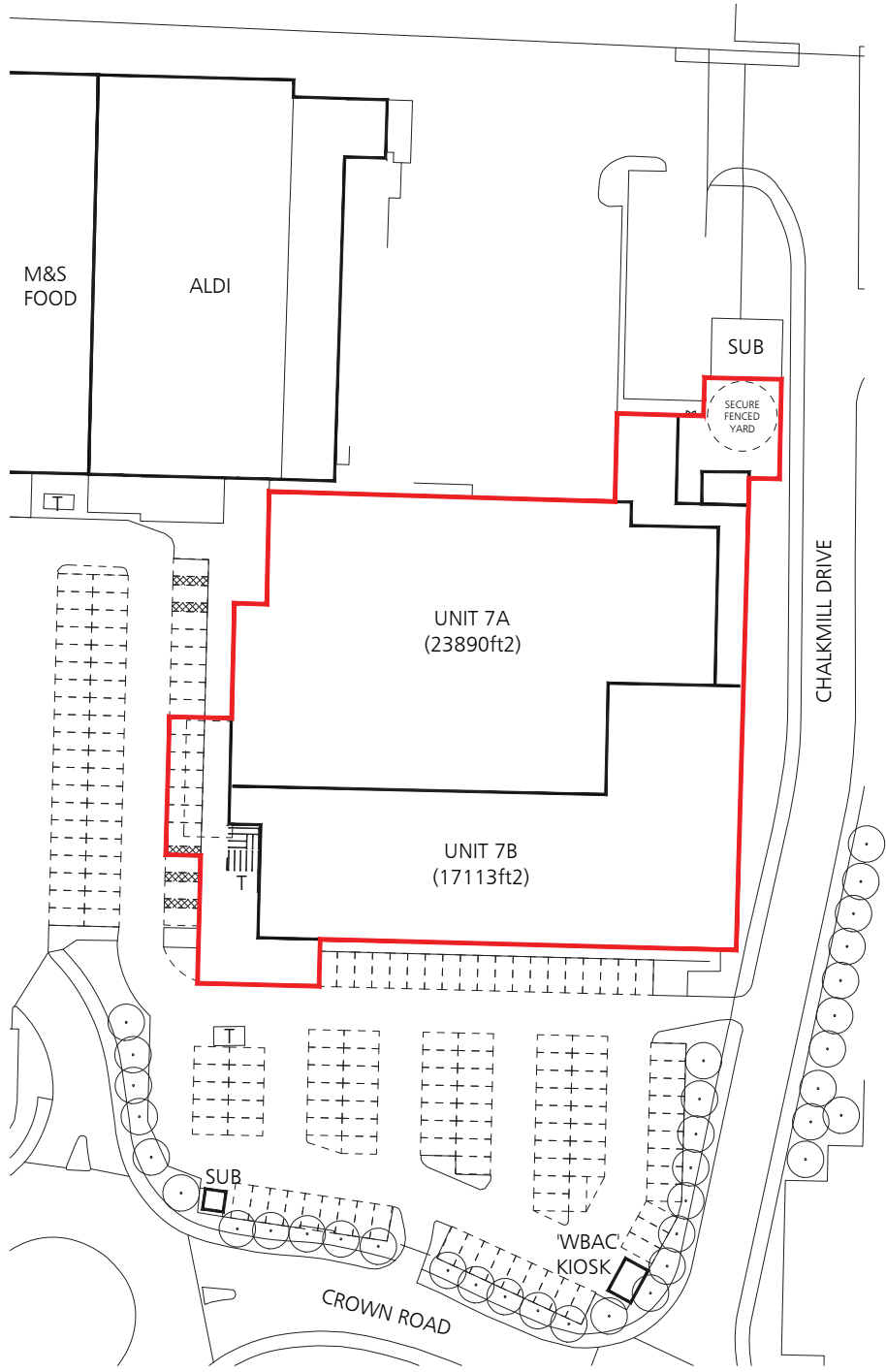
SECTION B - B



PROVIDE AND INSTALL NEW GANGPLY ADJACENT TO GRID LINES M-M IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DETAILS AND IN LINE WITH TENANT REQUIREMENTS.

SECTION A - A





— DENOTES PLANNING APPLICATION BOUNDARY

APPROX SITE AREA WITHIN REDLINE BOUNDARY
 AREA = 0.479 HECTARES
 (1.184 ACRES)

Based upon the Ordnance Survey dated:
 21 August 2018
 1:500 scale,
 With the permission of
 The Controller of Her Majesty's Stationary Office
 (c) Crown Copyright
 DLA Architecture Ltd,
 55 St Pauls Street
 Leeds LS1 2TE
 Licence No: 100026679

Note: This is a colour drawing, in order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour



ARCHITECTURE
 No.55 | St Pauls Street | Leeds | LS1 2TE
 0113 887 3100 www.dla-design.co.uk

PROJECT
 DUKE PORTFOLIO
 ENFIELD

TITLE
 BLOCK PLAN

SCALE 1:500 @ A2 DATE 22/02/19

DRAWN ML REVIEWED APH

DRAWING NO 2018-106/801 REVISION A

FILEPATH
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STATUS **For Planning**

General Notes:

The drawing is to be used for "Proposed Roof Plan" purposes only.

2018-106101 Existing Site Plan (D2 Base)
 2018-106102 Proposed Site Plan (D2 Base)
 2018-106200 Existing Ground Floor Plan
 2018-106201 Existing First Floor Plan
 2018-106202 Existing Second Floor Plan
 2018-106203 Existing Third Floor Plan
 2018-106204 Existing Development

2018-106310 Proposed Ground Floor Plan
 2018-106311 Proposed First Floor Plan
 2018-106312 Proposed Second Floor Plan
 2018-106313 Proposed Third Floor Plan
 2018-106314 Proposed Development

2018-106320 Demolition First Floor Plan
 2018-106321 Demolition Second Floor Plan
 2018-106322 Demolition Third Floor Plan
 2018-106323 Demolition Fourth Floor Plan
 2018-106324 Demolition Development

2018-106330 Schedule of Works

The drawing is to be used in conjunction with all relevant Structural Engineers steel design drawings and specifications.

The drawing is to be used in conjunction with all relevant Mechanical Engineers and design drawings and specifications.

The information on this drawing has been prepared from the survey undertaken by the following surveyors:

All dimensions to be checked on site and any discrepancies reported to the Architect.

ROOF ACCESS PROTECTION

EXISTING ROOF TO BE RETAINED AND OVER-CLAD WITH BUILT-UP SYSTEM COMPRISING UNPERFORATED GALVANIZED STEEL SHEET FIXED TO SPRINGER BAY SYSTEM WITH INSULATION UP TO 150MM WITH 100MM GAP OF THE SEALING INSULATION PANEL TO OVER-CLAD WITH ALL CLADDING, PROFILE FILLS, ETC. ALLOW FOR ALL NEW ASSOCIATED FLASHINGS, PROFILE FILLS, ETC.

FALL

EXISTING ROOF LIGHTS TO BE LAMER DOWN WITH INTERNAL LINER SHEET TO MATCH EXISTING ADJACENT. PRIOR TO OVER-CLADDING THE ENTIRE ROOF.

EXISTING PLANT ACCESS HATCHES TO BE

CAREFULLY REFINISHED AND OVER-CLAD WITH BUILT-UP SYSTEM WITH INSULATION UP TO 150MM WITH 100MM GAP OF THE SEALING INSULATION PANEL TO OVER-CLAD WITH ALL CLADDING, PROFILE FILLS, ETC. ALLOW FOR ALL NEW ASSOCIATED FLASHINGS, PROFILE FILLS, ETC.

MANAGER SYSTEM

REMOVE AND INSTALL MANAGER'S FALL RESTRAINT SYSTEM AS LATCHMAN'S FALL PROTECTION ON EXISTING MANAGER'S SYSTEM ACCORDANCE WITH MANAGER'S SPECIFICATIONS.

EXTENTS OF MANAGER SYSTEM DESIGN FOR DESIGN INTENT ONLY AND WILL BE SUBJECT TO DESIGN DEVELOPMENT INCLUDING RISK ASSESSMENT, TRAINING, MAINTENANCE LINE, CORROSION AND CLEANING / MAINTENANCE STATUSES.

THE SYSTEM PRIMARY FUNCTION IS TO GUARD AGAINST FALLS TO THE EXTERIOR OF THE ROOF FROM WALKING SURFACES AND OUTLETS, WHERE THERE IS A SUFFICIENT GUARDRAIL.

SPECIALIST SUB-CONTRACTOR TO CONFIRM THE MAXIMUM NUMBER OF PERSONS THAT CAN USE THE SYSTEM AT ANY GIVEN TIME. THE TYPE OF GUARDRAIL THAT WILL BE USED WITH THE SYSTEM, THE MAXIMUM LENGTH OF JUMPING THAT CAN BE USED ON THE SYSTEM, AND THE SAFETY LINE & LANYARD MAINTENANCE REQUIREMENTS.

SAFETY SIGNAGE

REMOVE AND INSTALL PROPRIETARY SAFETY SIGNAGE TYPICALLY AS NOTED BELOW:

- ON THE ELEVATION ADJACENT TO THE ROOF ACCESS / EGRESS POINTS TO INDICATE THE NEW POSITION TO CORRECTLY LOCATE THE ACCESS EQUIPMENT TO FACILITATE ACCESS TO THE ACCESS / EGRESS POINT ON THE FALL RESTRAINT SYSTEM.
- ADJACENT TO THE ACCESS AND EGRESS POINT ADVERTISING THAT THE USE OF THE FALL RESTRAINT SYSTEM IS MANDATORY WHILE WORKING ON THE ENTIRE ROOF AREA.
- SAFETY RESTRICTING ACCESS TO TRAINED OPERATIVES ONLY.
- SAFETY IDENTIFYING CONNECTION POINT TO FALL RESTRAINT SYSTEM.

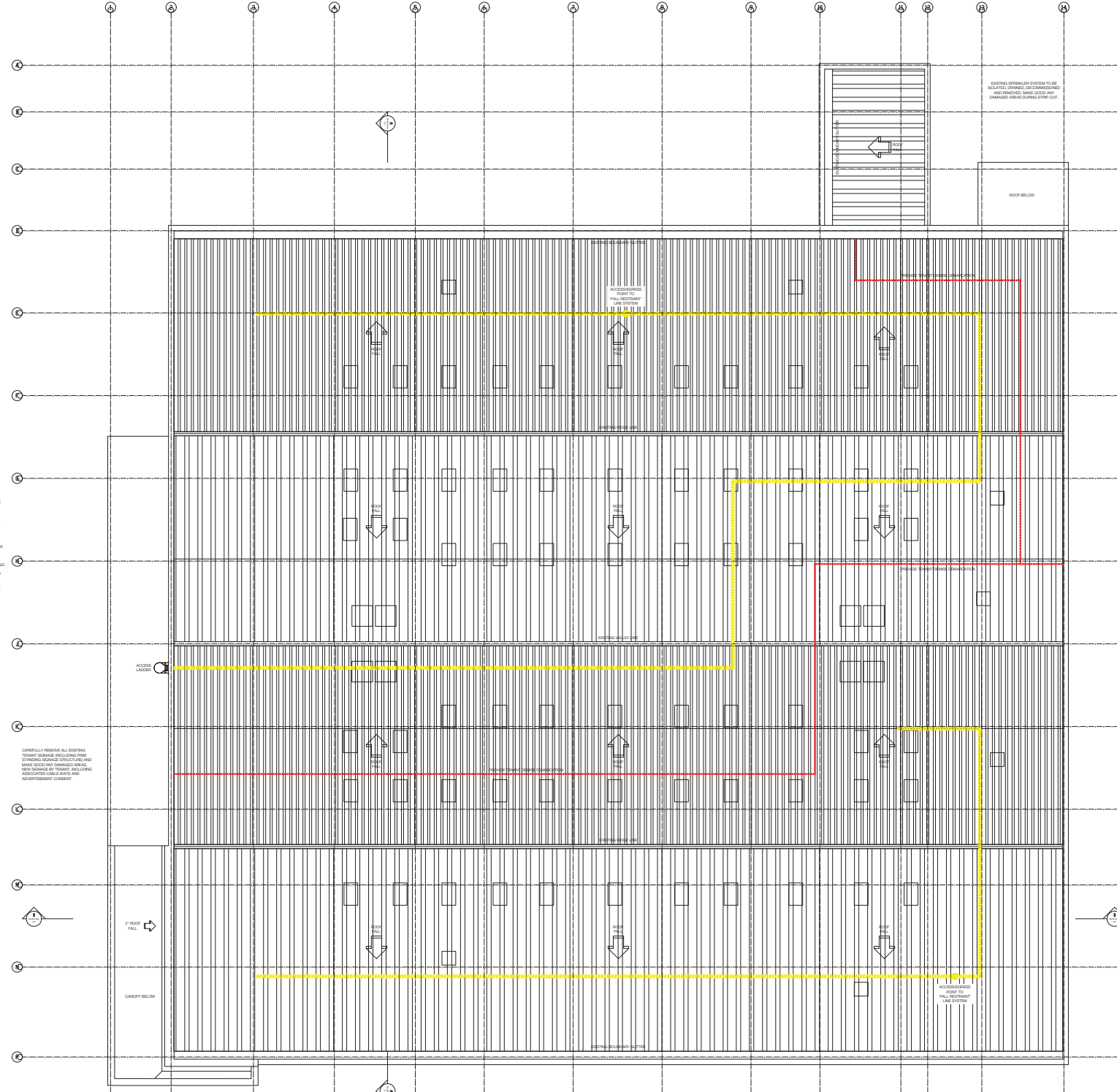
ROOF OVER-CLAD PROTECTION

EXISTING ROOF TO BE RETAINED AND OVER-CLAD WITH NEW BUILT-UP SYSTEM COMPRISING:

UNPERFORATED GALVANIZED STEEL SHEET FIXED TO SPRINGER BAY SYSTEM WITH INSULATION UP TO 150MM WITH 100MM GAP OF THE SEALING INSULATION PANEL TO OVER-CLAD WITH ALL CLADDING, PROFILE FILLS, ETC. ALLOW FOR ALL NEW ASSOCIATED FLASHINGS, PROFILE FILLS, ETC. ALLOW FOR ALL NEW ASSOCIATED FLASHINGS, PROFILE FILLS, ETC.

PROVIDE MINIMUM 20 YEAR GUARANTEE FOR ROOF OVER-CLAD WORKS.

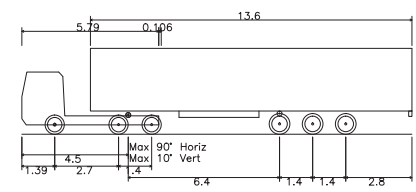
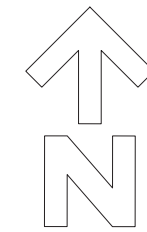
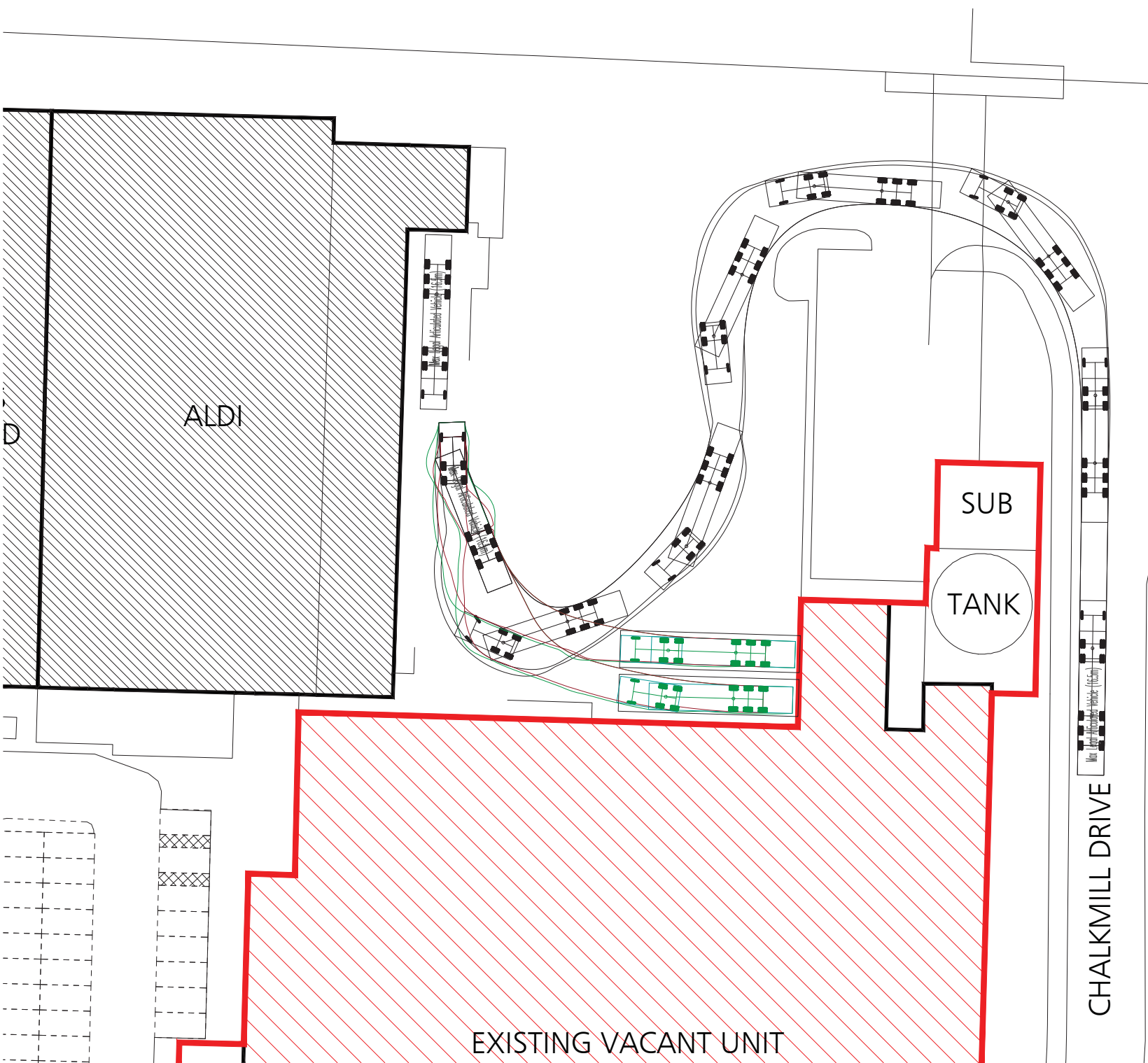
CAREFULLY REMOVE ALL EXISTING TENANT SIGNAGE INCLUDING FINE PRINT SIGNAGE STRUCTURE AND MAKE GOOD BY FINISHING AREAS. NEW SIGNAGE TO FINISH INCLUDING ASSOCIATED CABLE WAYS AND ADVERTISEMENT CONTENT.



PROPOSED FIRST FLOOR PLAN

Note: This is a colour drawing, in order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour.





Max Legal Articulated Vehicle (16.5m)	16.500m
Overall Length	2.500m
Overall Width	3.632m
Overall Body Height	0.396m
Min Body Ground Clearance	2.500m
Max Track Width	6.00s
Lock to lock time	6.870m
Kerb to Kerb Turning Radius	



CHALKMILL DRIVE

EXISTING VACANT UNIT



ARCHITECTURE
No.55 | St Pauls Street | Leeds | LS1 2TE
0113 887 3100 www.dla-design.co.uk

Based upon the Ordnance Survey dated:
21 August 2018
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Leeds LS1 2TE
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PROJECT
DUKE PORTFOLIO
ENFIELD

TITLE
SERVICE YARD
VEHICLE TRACKING

SCALE
1:250 @ A2

DATE
31/01/19

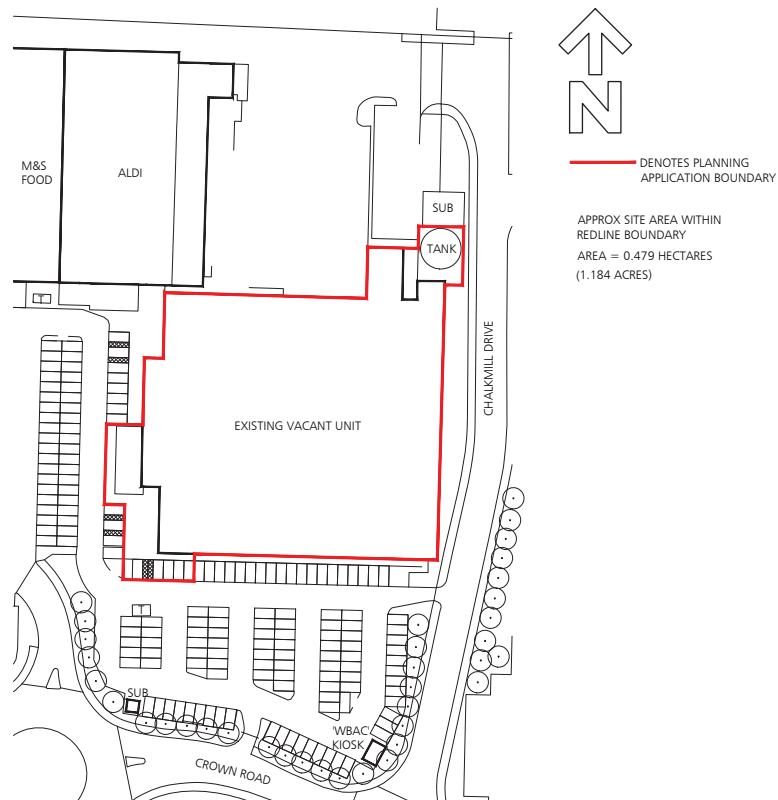
DRAWN
A.G

REVIEWED
ML

DRAWING NO
2018-106/890

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REVISIONS			
A	22/02/19	ML	APH
ISSUED FOR PLANNING.			
B	17/07/19	ML	APH
PLANNING BOUNDARY / AREA UPDATED.			



ARCHITECTURE

No.55 | St Pauls Street | Leeds | LS1 2TE
 0113 887 3100 www.dla-design.co.uk

PROJECT
 DUKE PORTFOLIO
 ENFIELD

TITLE
 LOCATION PLAN

SCALE
 1:1250 @ A3

DATE
 21/08/18

DRAWN
 ML

REVIEWED
 APH

DRAWING NO
 2018-106/100

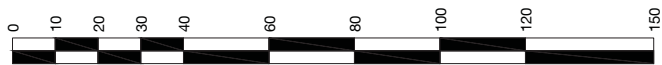
REVISION
 B

FILE PATH
 T:\2018\2018-106\CAD\05-Autocad\Drawgs\100

STATUS **For Planning**

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